

# CONSTRUCTION DOCUMENTS

FOR



PROPOSED

## DRIVE-THRU IMPROVEMENTS

LOCATION OF SITE

6711 KNIGHTDALE BLVD.

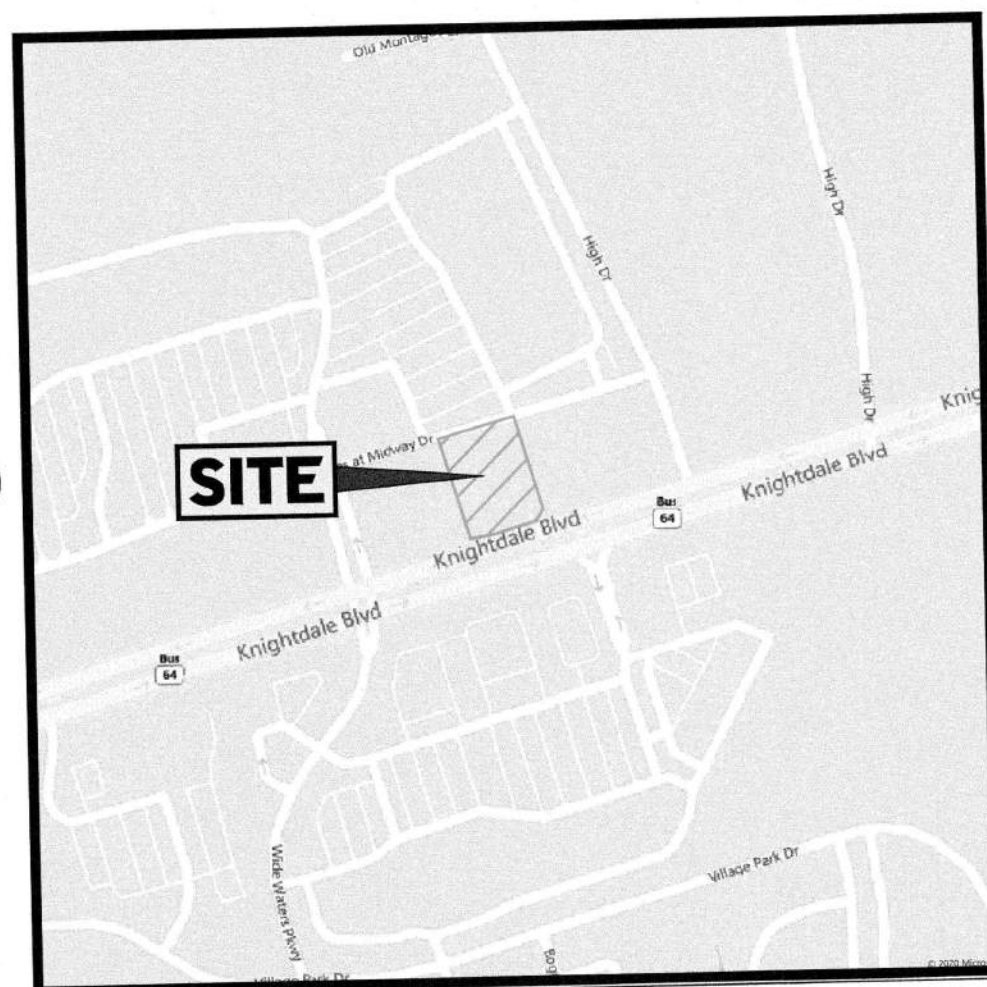
KNIGHTDALE, NC 27545

WAKE COUNTY

PIN NUMBER: 1744-65-8671

DEED BOOK: 013239, DEED PAGE: 01468

TOWN OF KNIGHTDALE PROJECT NUMBER: ZMA-6-20



LOCATION MAP

SCALE: 1" = 500'

### OWNER

KAY D COOKE  
CHICK-FIL-A INC.  
5200 BUFFINGTON RD.  
ATLANTA, GA 30349-2945

### DEVELOPER

CHICK-FIL-A INC.  
5200 BUFFINGTON RD.  
ATLANTA, GA 30349-2945  
CONTACT: CHASE SHAW  
PHONE: (501) 658-0374  
EMAIL: CHASE.SHAW@CFACORP.COM

PREPARED BY

**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
NCBELS P-1132

CONTACT: WILL SWARINGEN, P.E.

PHONE: (919) 578-9000

EMAIL: WSWARINGEN@BOHLERENG.COM

### SITE PLAN & ZONING NOTES:

- SITE ADDRESS: 6711 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545
- OWNER: CHICK-FIL-A INC.  
5200 BUFFINGTON ROAD  
ATLANTA, GA 30349  
PHONE: (501) 658-0374
- PIN: 1744-65-8671  
WAKE COUNTY, NORTH CAROLINA
- ACREAGE: SITE: 1.30 AC  
AREA OF DISTURBANCE: 0.48 AC  
EXISTING IMPERVIOUS: 0.90 AC  
PROPOSED IMPERVIOUS: 1.02 AC
- ZONING: EXISTING ZONING: HB  
APPROVED ZONING: HB-CD
- LAND USE: EXISTING LAND USE: DRIVE-THRU RESTAURANT  
PROPOSED LAND USE: DRIVE-THRU RESTAURANT
- PARKING: EXISTING BUILDING SF: 4,371 SF  
PROPOSED BUILDING SF: 4,968.9 SF  
MAXIMUM PARKING ALLOWED: 15.0 PER KSF GFA  
(4,968.9SF / 1000SF) = 4.97 \* 15 = 75 SPACES  
MINIMUM PARKING REQUIRED: 1/2 MAXIMUM = 75 SPACES / 2 = 38 SPACES  
EXISTING PARKING: 55 SPACES  
PROPOSED PARKING: 49 SPACES

### Sheet List Table

Sheet Number	Sheet Title
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### ZONING CONDITIONS GRANTED:

- WITH THE CONDITIONAL DISTRICT REZONING WE ARE REVISING THE ALLOWED LAND USES TO THE FOLLOWING. THIS USE HAS BEEN TRIMMED DOWN FROM THE COMPLETE HIGHWAY BUSINESS ALLOWED USES LIST.
  - DRIVE-THRU RETAIL RESTAURANTS
- DUAL DRIVE-THRU LANE: KNIGHTDALE'S UDO, SECTION 3.3.T.3, ONLY ALLOWS ONE DRIVE-THRU LANE BETWEEN MAIN BUILDING AND MAIN FRONTAGE. WE ARE PROPOSING A DUAL DRIVE-THRU LANE IN THIS LOCATION TO HELP HOLD MORE CARS ON SITE AND AVOID HAVING QUEUING LINE SPILL OUT ON THE INTERNAL SHOPPING CENTER ROAD. IN ORDER TO HELP MITIGATE THIS WE ARE PROPOSING ADDITIONAL LANDSCAPING AND A 2' WALL BETWEEN DRIVE-THRU AND KNIGHTDALE BLVD TO HELP OBSCURE VIEW FROM KNIGHTDALE BLVD. INCLUDED IN THIS SUBMITTAL IS A LANDSCAPE PLAN SHOWING THE PROPOSED VEGETATION AND WALL ALONG THE SITE FRONTAGE.
- TO 20' WHEN LOCATED ADJACENT TO AN ARTERIAL AND LOCATED WITHIN AN HB DISTRICT. WE ARE PROPOSING A 24' LANE ALONG THE FRONT OF THE SITE FACING KNIGHTDALE BLVD. THIS IS TO PROVIDE AMPLE LANE WIDTH FOR LARGER VEHICLES, SUCH AS VANS OR TRUCKS, TO MAKE THE TURN FROM THE ORDER POINT CANOPY WILL HAVE STONE AROUND THE BOTTOM OF THE COLUMNS TO ADHERE TO THE KNIGHTDALE UDO. ADDITIONALLY, A WALL AND AMPLE VEGETATION HAS BEEN PROPOSED AT THE FRONT OF THE SITE FACING KNIGHTDALE BLVD. THIS INCLUDES TWO LARGE SHADE TREES DIRECTLY IN FRONT OF THE ORDER STATION IN THE SOUTHWEST CORNER OF THE SITE WHICH WILL BLOCK THE ORDER STATION FROM VIEW OF THE PASSING TRAFFIC.
- LANDSCAPE BUFFER ENCROACHMENT: ALONG THE EASTERN PROPERTY LINE (BETWEEN CFA AND ARBYS) WE ARE PROPOSING TO ENCROACH APPROXIMATELY ONE FOOT INTO THE 10' SIDE LANDSCAPING BUFFER, REQUIRED BY UDO SECTION 8.6.A. THIS IS PRIMARILY TO ACCOMPLISH THE MEAL DELIVERY CANOPY BEING CONVERTED FROM A TYPICAL CANTILEVER CANOPY TO A MORE 'BANK STYLE' CANOPY AT THE REQUEST OF TOWN OF KNIGHTDALE STAFF. IN ORDER TO MITIGATE IMPACTS OF THIS ENCROACHMENT WE ARE PROPOSING ADDITIONAL VEGETATION IN THE 10' LANDSCAPE BUFFER WHILE LEAVING CURRENT VEGETATION.
- PROPOSED BUILDING TYPE: KNIGHTDALE'S UDO, SECTIONS 3.3.T.5 & 5.10, REQUIRES NEW BUILDING BE 'MIXED-USE'. OUR PROJECT'S SCOPE IS ONLY MODIFYING AN EXISTING DRIVE-THRU/COMMERCIAL TYPE BUILDING TO HELP INCORPORATE MORE OF A MIXED-USE BUILDING TYPE. HOWEVER, WE ARE ADDING STONE VENEER TO HELP BREAK UP THE FACE OF THE BUILDING IN THE REAR BUILDING ADDITION. WE ALSO ARE USING A 'BANK STYLE' CANOPY AT THE ORDER PICKUP POINTS PER THE TOWN OF KNIGHTDALE'S REQUEST.
- DRIVE-THRU CANOPY: KNIGHTDALE'S UDO, SECTION 5.10, REQUIRES MIX USE BUILDING ACCESSORY BUILDINGS MUST BE CLAD IN MATERIALS SIMILAR IN APPEARANCE TO THE PRINCIPAL STRUCTURE. OUR ORDER POINT CANOPY WILL HAVE STONE AROUND THE BOTTOM OF THE COLUMNS TO ADHERE TO THE KNIGHTDALE UDO. ADDITIONALLY, A WALL AND AMPLE VEGETATION HAS BEEN PROPOSED AT THE FRONT OF THE SITE FACING KNIGHTDALE BLVD. THIS INCLUDES TWO LARGE SHADE TREES DIRECTLY IN FRONT OF THE ORDER STATION IN THE SOUTHWEST CORNER OF THE SITE WHICH WILL BLOCK THE ORDER STATION FROM VIEW OF THE PASSING TRAFFIC.

### PLAN REFERENCES AND CONTACTS

#### REFERENCES

• BOUNDARY & TOPOGRAPHIC SURVEY:  
BOHLER ENGINEERING NC, PLLC  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
DATED: 11/26/19  
JOB #: MSR191551  
ELEVATIONS: NAD 83  
CONTACT: TOM TEABO  
PHONE: (919) 578-9000

#### ARCHITECTURAL PLAN:

WFX & ASSOCIATES  
3680 PLEASANT HILL RD., SUITE 200  
DULUTH, GA 30096  
PHONE: (770) 622-8858

#### GOVERNING AGENCIES

• TOWN OF KNIGHTDALE DEVELOPMENT SERVICES

950 STEEPLE SQUARE CT.  
KNIGHTDALE, NC 27545  
PHONE: (919) 217-2243

#### BUILDING DEPARTMENT

950 STEEPLE SQUARE CT.  
KNIGHTDALE, NC 27545  
PHONE: (919) 217-2244

#### FIRE DEPARTMENT

979 STEEPLE SQUARE CT.  
KNIGHTDALE, NC 27545  
PHONE: (919) 217-2292

#### UTILITIES

• ELECTRIC  
DUKE ENERGY PROGRESS  
PHONE: (800) 452-2777

#### GAS

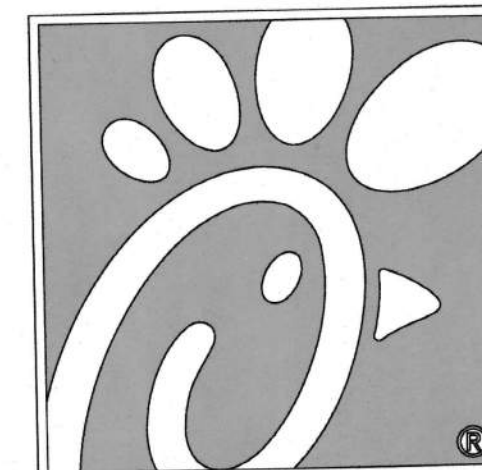
PUBLIC SERVICE GAS COMPANY  
PHONE: (877) 776-2427

#### WATER & SEWER

CITY OF RALEIGH PUBLIC UTILITIES  
1 EXCHANGE PLAZA, SUITE 500  
RALEIGH, NC 27601  
PHONE: (919) 998-3245  
EMAIL: PUBLICUTILITIES@RALEIGHNC.GOV

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS SHOWN BY THE DRAWINGS AND IN ACCORDANCE WITH LOCAL REGULATIONS AND CODES.



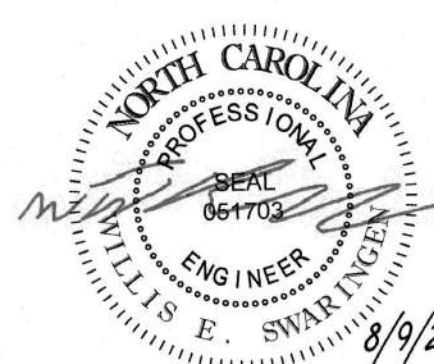
Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



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ALWAYS CALL 811  
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NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



**CHICK-FIL-A**  
KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

FSU#1760

#### REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501

PRINTED FOR CONSTRUCTION

DATE 5/18/21

DRAWN BY RMG

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SHEET COVER SHEET

SHEET NUMBER

C-1.0

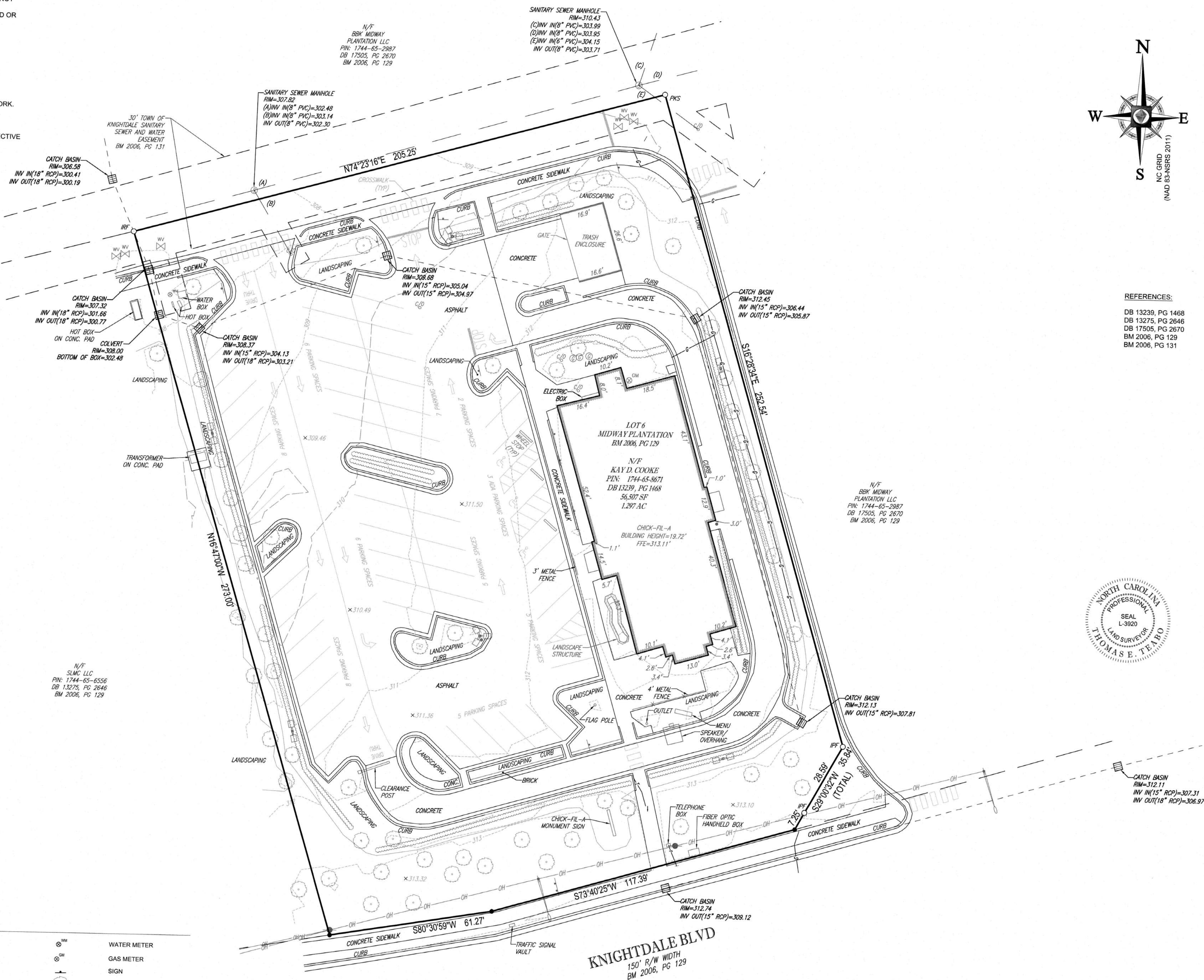






## NOTES:

- 1) THE FIRM HAS NEITHER REVIEWED, NOR RELIED UPON A TITLE COMMITMENT OR ANY TITLE REPORT IN AND WHILE PREPARING THIS SURVEY AND THE CLIENT SHOULD NOT RELY UPON THIS SURVEY AS ASSURANCE OR OWNERSHIP, AS A GUARANTEE OF MARKETABLE TITLE OR FOR DISCLOSURE OF TITLE EXCEPTIONS THAT MAY, COULD OR DO ENCUMBER THE PROPERTY. THE CLIENT MUST ENGAGE A TITLE AGENT/TITLE INSURANCE COMPANY FOR REVIEW AND CONFIRMATION OF, AND INSURANCE REGARDING MARKETABLE TITLE.
- 2) AREAS COMPUTED BY COORDINATE METHOD.
- 3) PROPERTY SHOWN HEREON IS SUBJECT TO ALL RIGHTS-OF-WAY, EASEMENTS AND RESTRICTIONS OF RECORD.
- 4) ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- 5) THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH BY THIS FIRM.
- 6) RIGHTS-OF-WAY INFORMATION IS BASED ON DEEDS AND MAPS OF RECORD.
- 7) NC GRID COORDINATES (NAD83) OBTAINED BY USING GPS, PRE THE NCVRS NETWORK.
- 8) BASIS OF BEARING SHOWN HEREON IS NC GRID (NAD 83 NSRS 2011).
- 9) VERTICAL DATUM SHOWN HEREON IS NAVD88.
- 10) THE PROPERTY SHOWN HEREON IS LOCATED IN FLOODZONE "ZONE X", AREA OF MINIMAL FLOODING, PER FLOOD INSURANCE RATE MAP 3720174400J, PANEL EFFECTIVE DATE MAY 2, 2006.



## REFERENCES:

DB 13239, PG 1468  
DB 13275, PG 2646  
DB 17505, PG 2670  
BM 2006, PG 129  
BM 2006, PG 131

## SURVEYOR CERTIFICATION

I, THOMAS E. TEABO, P.L.S., HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP, THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FROM DEED AND MAP REFERENCES AS NOTED ON SAID MAP.

THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY OF THE SURVEY AS CALCULATED IS 1:10,000+ THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION OF RECORD, THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH TITLE 21, CHAPTER 56, NCAC, AS AMENDED.

I HEREBY CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: "CLASS A"
- (2) POSITIONAL ACCURACY: 0.04"
- (3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC NETWORKS-NCVRS
- (4) DATES OF SURVEY: 11/13/19
- (5) DATUM/EPOCH: NAD 83 (2011) EPOCH 2010.00
- (6) PUBLISHED/FIXED-CONTROL USE: NCVRS
- (7) GEOID MODEL: 2012 (CONUS)
- (8) COMBINED GRID FACTOR(S): 0.999908123
- (9) UNITS: US SURVEY FEET

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 26TH DAY OF NOVEMBER A.D., 2019.

**PRELIMINARY - NOT FOR RECORDATION,  
SALES OR CONVEYANCES**

SURVEYOR NC L-3920

## LEGEND

—	LINE SURVEYED	⊗	WATER METER
- - -	LINE NOT SURVEYED	⊙	GAS METER
— 123 —	EXISTING CONTOUR	⊕	SIGN
x 123.45	EXISTING SPOT ELEVATION	●	TREE
- - -	APPROX. LOC. UNDERGROUND ELEC. LINE PER UTILITY MARKOUT	⊗	BOLLARD
- - -	APPROX. LOC. UNDERGROUND GAS LINE PER UTILITY MARKOUT	⊕	FENCE
— OH —	WATER VALVE	⊗	AREA LIGHT
— OH —	OVERHEAD WIRES	⊕	CLEAN OUT
- - -	APPROX. LOC. UNDERGROUND TEL. LINE PER UTILITY MARKOUT	⊗	BUSH ROW
- - -	APPROX. LOC. UNDERGROUND WATER LINE PER UTILITY MARKOUT	⊕	IRON PIPE FOUND
—	UTILITY POLE	⊙	IRON REBAR FOUND
⊙	SANITARY MANHOLE	⊕	PK NAIL SET
⊙	GREASE TRAP	●	COMPUTED POINT
⊕	STORM DRAIN		

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: Thomas E. Teabo Date: 8/13/2021  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: D. Goodman Date: 8/20/2021  
Administrator

BOUNDARY & TOPOGRAPHIC SURVEY  
FOR

## CHICK-FIL-A, INC.

SUITE 130  
PIN: 1744-65-8671  
DB 13239, PG 1468  
BM 2006, 129

TOWN OF KNIGHTDALE  
ST. MATTHEWS TOWNSHIP  
WAKE COUNTY, NORTH CAROLINA

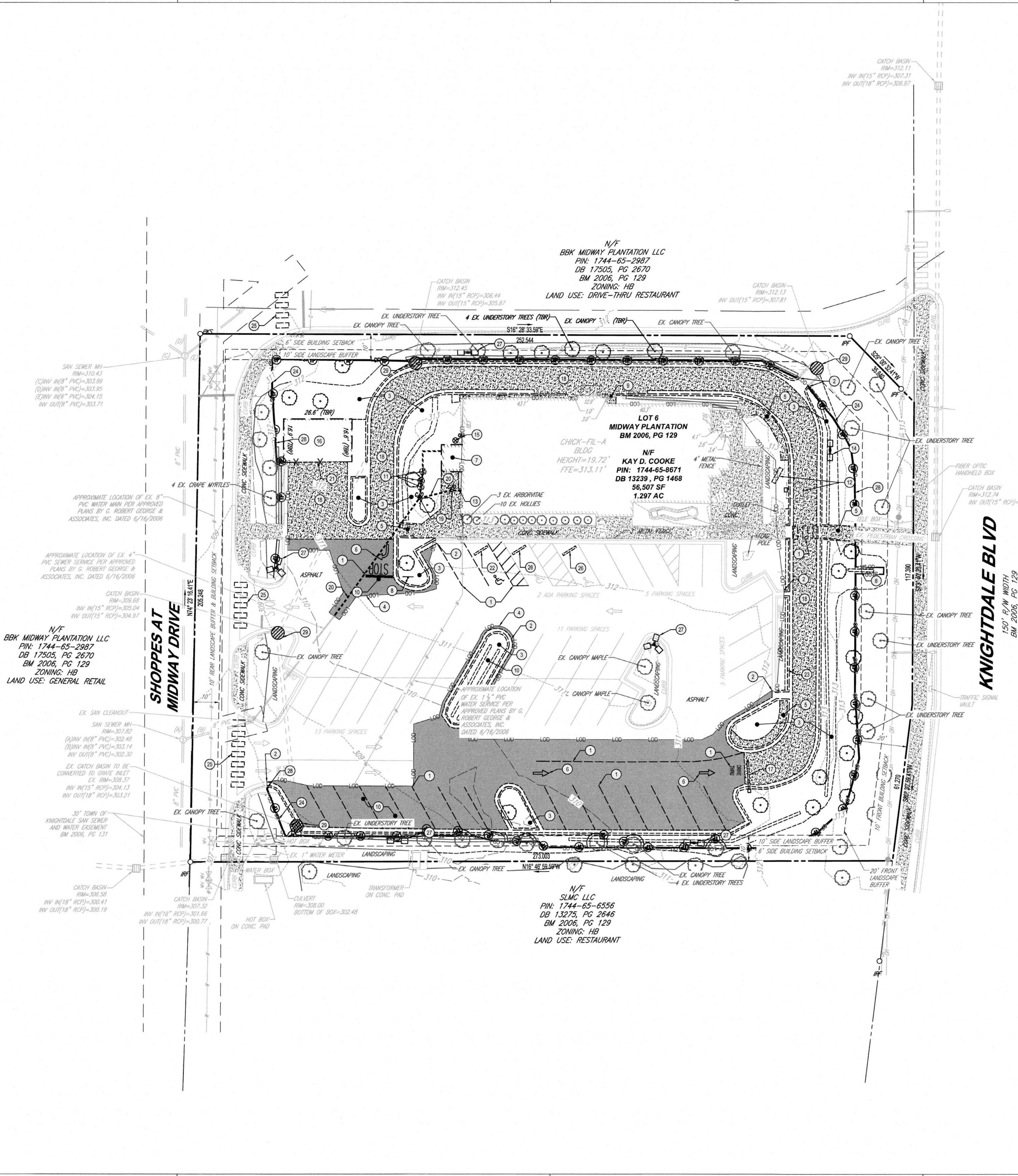
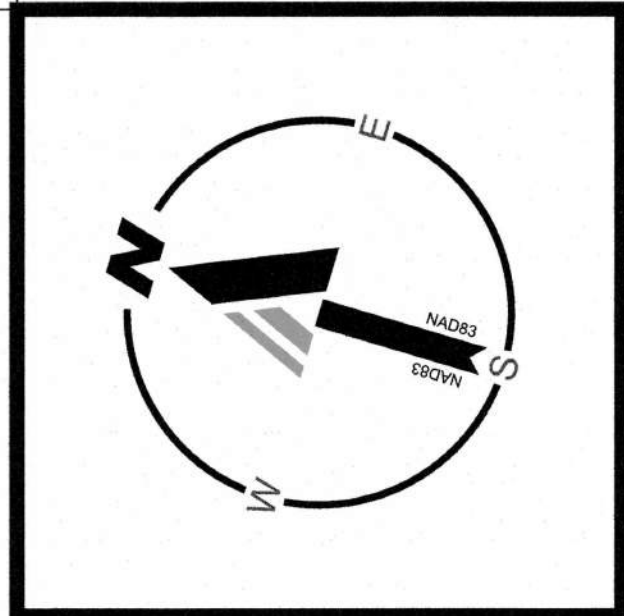
FILE NO. NSR191501  
DATE 11/28/19  
FIELD DATE 11/13/19

**BOHLER**  
ENGINEERING NC, PLLC  
4130 PARKLAKE AVENUE  
SUITE 130  
RALEIGH, NORTH CAROLINA 27612  
919.678.9000 • 919.703.2665 FAX  
WWW.BOHLERENGINEERING.COM

CREW CHIEF RJ  
DRAWN DET  
REVIEWED TET  
APPROVED TET  
SCALE 1" = 20'

DWG. NO. 1 OF 1





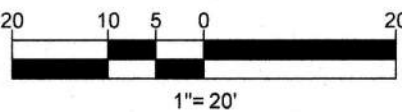
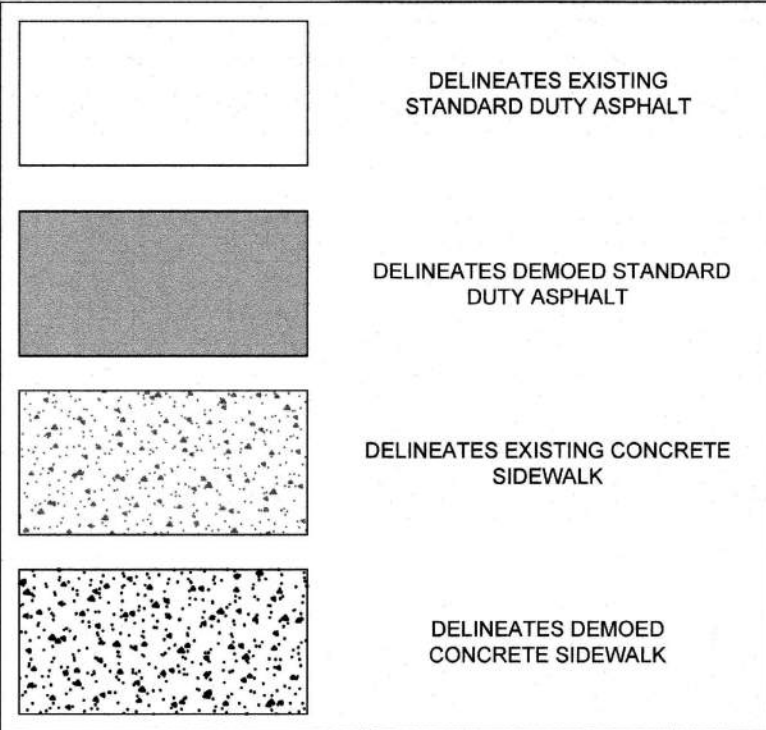
EXISTING CONDITIONS & DEMOLITION PLAN NOTES:

- THIS PLAN REFERENCE DOCUMENTS AND INFORMATION BY:  
BOHLER ENGINEERING NC, PLLC  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
DATED: 11/26/2019  
JOB # NSR192091  
ELEVATIONS: NAD 83  
CONTACT: TOM TEABO  
PHONE: (919) 578-9000
- OWNER:  
KAY D COOKE  
CHICK-FIL-A INC.  
5200 BUFFINGTON RD.  
ATLANTA, GA 30349-2945
- DEVELOPER:  
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5200 BUFFINGTON RD.  
ATLANTA, GA 30349-2945  
CONTACT: CHASE SHAW  
PHONE: (501) 658-0374  
EMAIL: CHASE.SHAW@CFACORP.COM
- EXISTING SITE INFORMATION:  
PARCEL ACREAGE: 1.30 AC  
PIN NUMBER: 1744-65-8671  
EXISTING ZONING: HB - HIGHWAY BUSINESS  
EXISTING LAND USE: DRIVE-THRU RESTAURANT

DEMOLITION KEY:

- EX. PAVEMENT MARKING TO BE REMOVED
- EX. CURB AND GUTTER TO BE REMOVED
- EX. LANDSCAPED AREA TO BE REMOVED
- LIMIT OF DISTURBANCE
- EX. SIDEWALK TO BE REMOVED
- EX. DIRECTIONAL ARROWS TO BE REMOVED
- EX. BUILDING TO BE DEMOED
- EX. SIGN TO BE REMOVED
- EX. BOLLARD TO BE REMOVED
- EX. ASPHALT TO BE REMOVED
- EX. GREASE TRAP TO BE REMOVED
- EX. MENU BOARD & CANOPY TO BE REMOVED
- EX. ELECTRICAL BOX TO BE REMOVED
- EX. LIGHT TO BE RELOCATED
- EX. GAS METER TO BE REMOVED
- EX. TRASH ENCLOSURE TO BE REMOVED
- EX. CLEARANCE POST TO BE REMOVED
- EX. CONCRETE TO BE REMOVED
- EX. CLEANOUT TO BE REMOVED
- EX. 4" SEWER LINE TO BE REMOVED. LINE SHOWN SHOWS APPROXIMATE LOCATION OF 4" SERVICE PER APPROVED PLANS BY G. ROBERT GEORGE & ASSOCIATES, INC. DATED 6/16/2006
- EX. GATE TO BE REMOVED
- EX. WHEEL STOP TO BE REMOVED
- EX. BRICK TO BE REMOVED
- TREE PROTECTION FENCE
- EX. CROSSWALK TO BE REPAINTED
- EX. WHEEL STOP TO BE REPLACED
- EX. LIGHT TO BE REPLACED
- SILT FENCE
- INLET PROTECTION

PAVEMENT LEGEND



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: [Signature] Date: 8/13/2021  
Town Engineer  
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By: [Signature] Date: 8/20/2021  
Administrator



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



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NCEBLS #1152

4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



**CHICK-FIL-A**  
KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

FSU#1760

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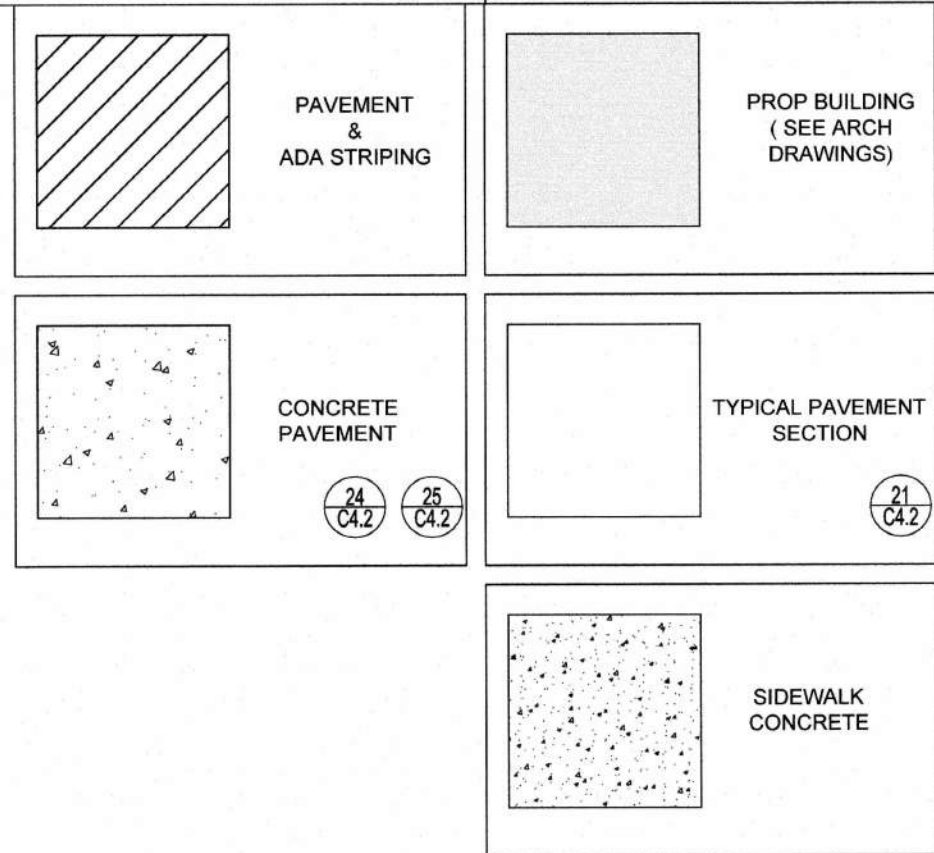
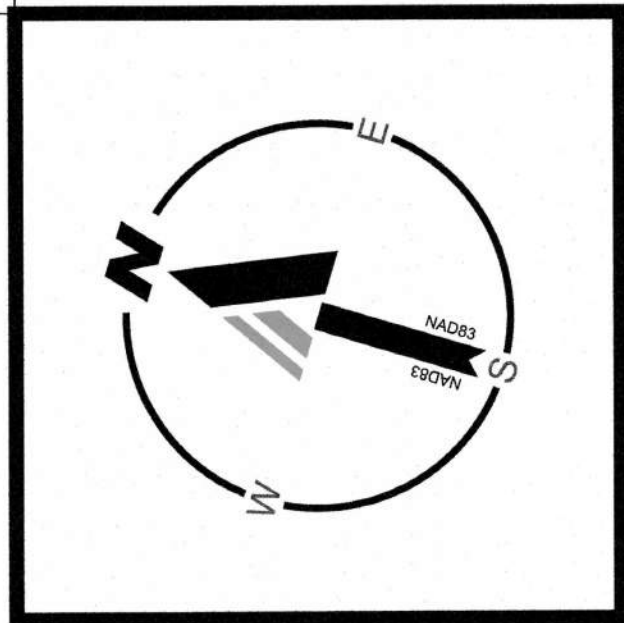
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DATE 5/18/21  
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SHEET  
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER

C-2.0





### SITE PLAN & ZONING NOTES:

1. SITE ADDRESS: 6711 KNIGHTDALE BLVD  
KNIGHTDALE, NC 27545
2. OWNER: CHICK-FIL-A INC.  
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WAKE COUNTY, NORTH CAROLINA
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APPROVED ZONING: HB-CD
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(4,968.9 SF / 1000SF) = 4.97 \* 15 = 75 SPACES  
MINIMUM PARKING REQUIRED: 1/2 MAXIMUM = 75 SPACES / 2 = 38 SPACES  
EXISTING PARKING: 55 SPACES  
PROPOSED PARKING: 49 SPACES

### SITE PLAN DESIGN NOTES & KEY PLAN

1. PAVEMENT TREATMENT AREA
2. DRIVE-THRU GRAPHICS
3. PAINTED HANDICAP PARKING SYMBOL
4. DIRECTIONAL SIGNAGE  
ALL SIGNS SHALL CONFORM TO SIGNAGE PLAN. PLANS TO BE PROVIDED ONCE FINALIZED
- 4A. "CAUTION - WATCH FOR PEDESTRIANS" SIGN
- 4B. "DRIVE-THRU MEAL DELIVERY ZONE" SIGN
- 4C. "STOP" SIGN
5. STANDARD PARKING STALL
6. RETURNED CURB HANDICAP RAMP
7. TYPICAL CONCRETE SIDEWALK
8. SIDEWALK w/ CURB & GUTTER
9. CURB SECTION AT DRIVE-THRU WINDOW
10. 24" CURB AND GUTTER - TOWN OF KNIGHTDALE DETAIL 4.01
11. REFUSE ENCLOSURE FOUNDATION
12. BOLLARD
13. TYPICAL PAVEMENT SECTION
14. TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
15. TRANSVERSE & LONGITUDINAL DOWELED CONST. JOINT
16. CONCRETE APRON @ TRASH ENCLOSURE
17. CONCRETE PAVING @ DRIVE THRU LANE
18. MENU BOARD & CANOPY ORDERING STATION
19. SANITARY CLEANOUT
20. ROOF DOWNSPOUT (TO CONNECT TO SITE DRAINAGE SYSTEM)
21. GREASE TRAP (REFER TO BUILDING PLAN FOR MORE DETAIL)
22. 4" WIDE WHITE STRIPE
23. GENERAL NOTE: THE CONTRACTOR SHALL INSTALL NECESSARY TRAFFIC CONTROL, SAFETY BARRICADES, LIGHTING, AND OTHER REQUIRED CONTROL MEASURES TO SECURE THE WORK AREA FROM EXISTING TRAFFIC AND TO ASSURE PUBLIC SAFETY.
24. GENERAL NOTE: INSTALL EXPANSION JOINT BETWEEN ALL CONCRETE PAVEMENT INTERFACE WITH BUILDINGS, CURBS & GUTTER, AND OTHER CONSTRAINED OBJECTS.
25. GENERAL NOTE: SITE CONTRACTOR SHALL REFER TO ARCHITECT PLANS FOR THE EXACT DIMENSIONS OF THE BUILDING, CANOPY, AND THE LOCATION OF DOORWAYS, UTILITIES, ETC.
26. GATES TO BE INSTALLED BY BUILDING CONTRACTOR WITH DUMPSTER STRUCTURE. COORDINATE WITH PAVEMENT INSTALLATION.
27. SAWCUT LINE
28. CLEARANCE BAR
29. TIER 3 FACE TO FACE ORDER CANOPY (CONTRACTOR TO REFER TO BUILDING PLANS FOR EXACT DIMENSIONS)
30. TIER 3 OUTSIDE MEAL DELIVERY CANOPY
31. LIGHT TO REPLACE EXISTING
32. HEADER CURB
33. STORM CLEANOUT
34. ACCENT WALL
35. TRASH CAN. ALL EXISTING TRASH CANS ON SITE TO BE REPLACED.
36. 10'X20' DRIVE-THRU MEAL DELIVERY SPACE
37. ENTIRE PARKING LOT TO BE MILLED AND OVERLAID
38. REPAINTED CROSSWALK
39. WHEEL STOP
40. PATIO SEATING TO REPLACE EXISTING
41. FLEXIBLE TRAFFIC DELINEATOR POST (TYP. OF 5)

SHOPPES AT  
MIDWAY DRIVE

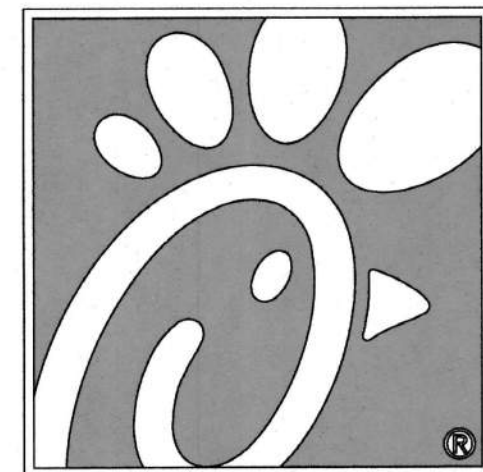
KNIGHTDALE BLVD

150' R/W WIDTH  
BM 2006, PG 129

N/F  
BBK MIDWAY PLANTATION LLC  
PIN: 1744-65-2987  
DB 17505, PG 2670  
BM 2006, PG 129  
ZONING: HB  
LAND USE: GENERAL RETAIL

N/F  
BBK MIDWAY PLANTATION LLC  
PIN: 1744-65-2987  
DB 17505, PG 2670  
BM 2006, PG 129  
ZONING: HB  
LAND USE: DRIVE-THRU RESTAURANT

N/F  
SLMC LLC  
PIN: 1744-65-6556  
DB 13275, PG 2646  
BM 2006, PG 129  
ZONING: HB  
LAND USE: RESTAURANT



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Chick-fil-A  
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Atlanta, Georgia 30349-2998



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RALEIGH, NC 27612  
Phone: (919) 578-9000  
NC@BohlerEng.com



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KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

FSU#1760

#### REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501  
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SHEET  
SITE PLAN

SHEET NUMBER

C-3.0





D

**C**

**B**

A

4

3

2

1

A. ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC EXCEPT PARKING STALL STRIPING WHICH SHALL BE PAINTED.



**D**

ALWAYS CALL 811



NCBELS P-1132

4130 PARKLAKE AVENUE, SUITE 130



1. **Introduction**

<b>REVISION SCHEDULE</b>		
<b><u>NO.</u></b>	<b><u>DATE</u></b>	<b><u>DESCRIPTION</u></b>
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
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4	8-9-2021	SIGNATURE SET

PRINTED FOR CONSTRUCTION

DRAWN BY BMC

SHEET  
SIGNAGE & STRIPING PLAN

## C-3.1

# CONSTRUCTION DOCUMENTS



N/F  
BBK MIDWAY PLANTATION LLC  
PIN: 1744-65-2987  
DB 17505, PG 2670  
BM 2006, PG 129  
ZONING: HB  
LAND USE: GENERAL RETAIL

N/F  
BBK MIDWAY PLANTATION LLC  
PIN: 1744-65-2987  
DB 17505, PG 2670  
BM 2006, PG 129  
ZONING: HB  
LAND USE: DRIVE-THRU RESTAURANT

N/F  
SLMC LLC  
PIN: 1744-65-6556  
DB 13275, PG 2646  
BM 2006, PG 129  
ZONING: HB  
LAND USE: RESTAURANT

**KNIGHTDALE BLVD**

150' R/W WIDTH  
BM 2006, PG 129

By: S. A. H. H.  
Town Engineer

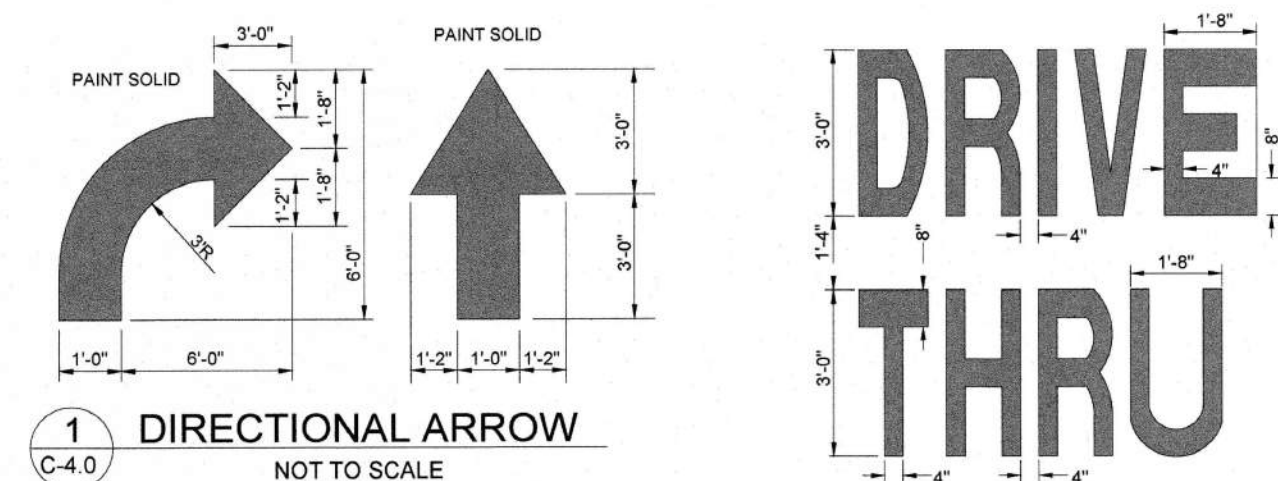
These plans are approved by the Town of  
construction plans for this project.

By: J. Goodman Date: 8/20/2020  
Administrator

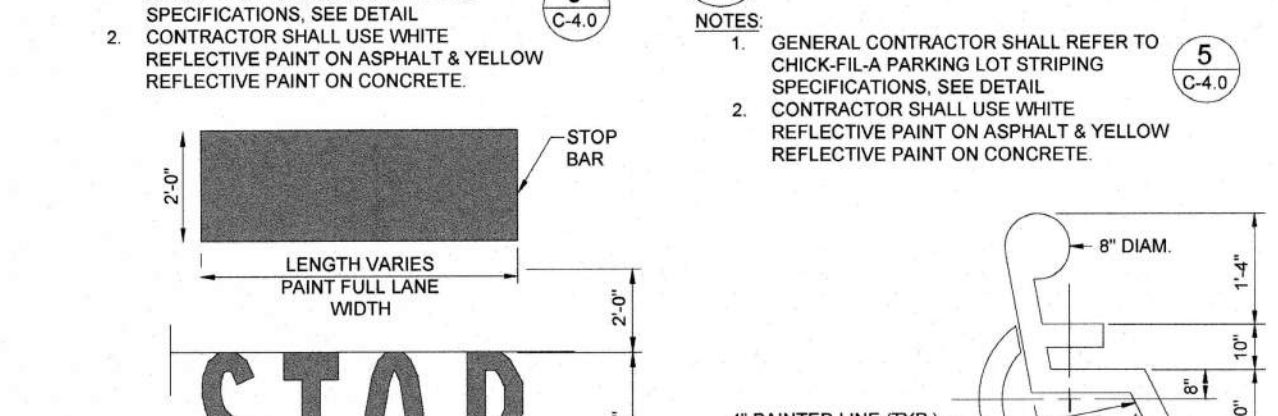
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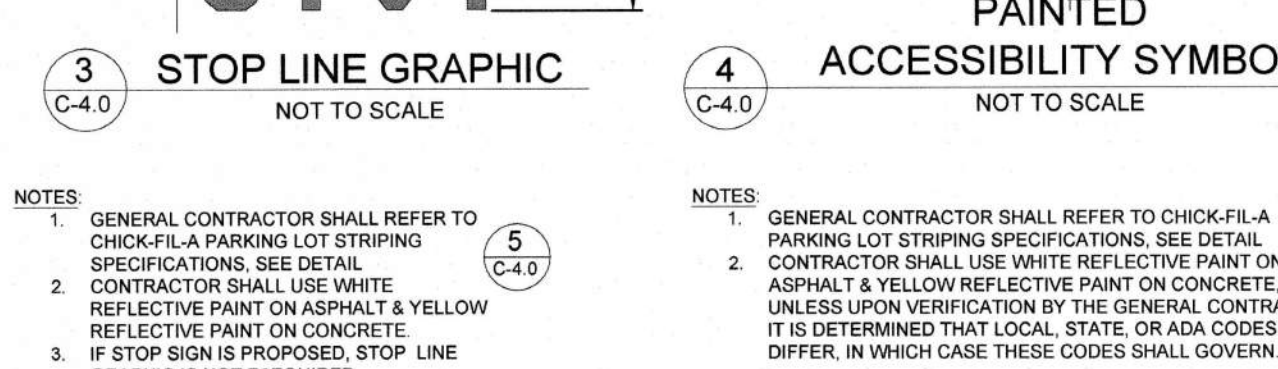
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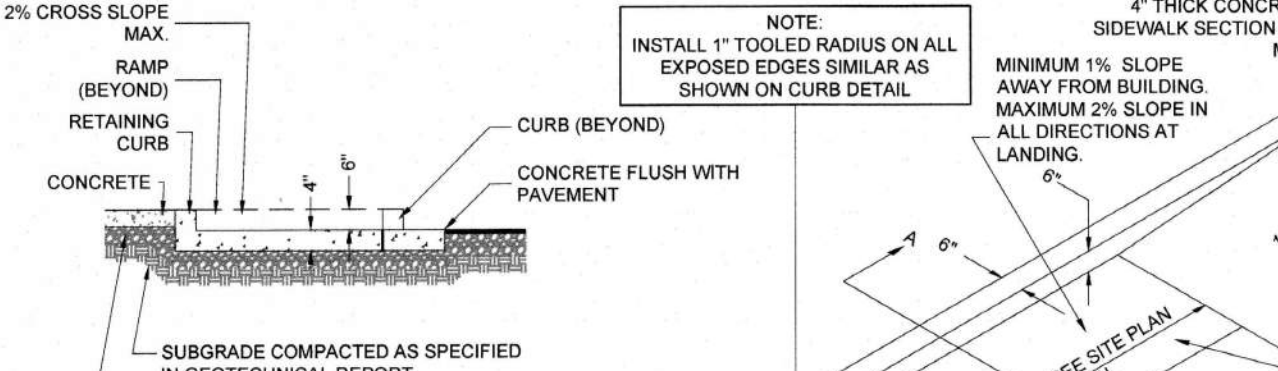
1 DIRECTIONAL ARROW NOT TO SCALE  
2 DRIVE-THRU GRAPHICS NOT TO SCALE



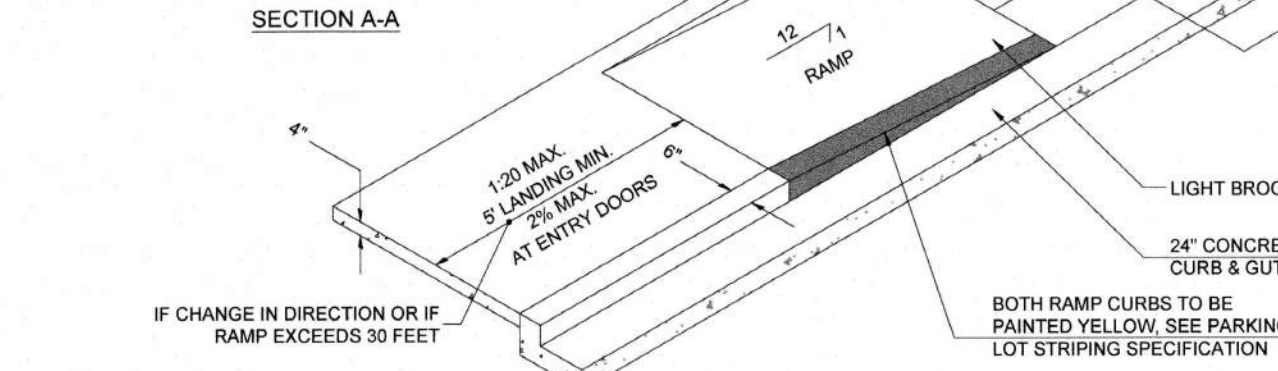
3 STOP LINE GRAPHIC NOT TO SCALE  
4 ACCESSIBILITY SYMBOL NOT TO SCALE



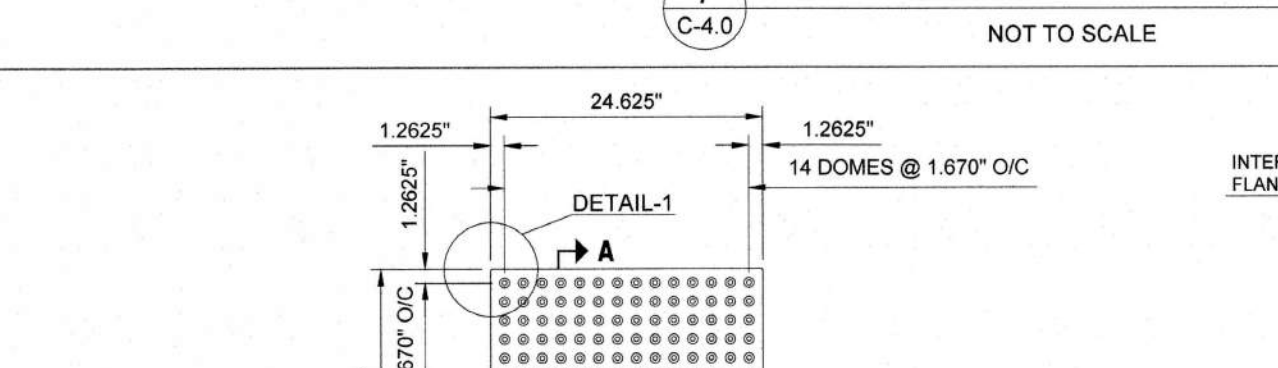
5 STANDARD PARKING STALL NOT TO SCALE



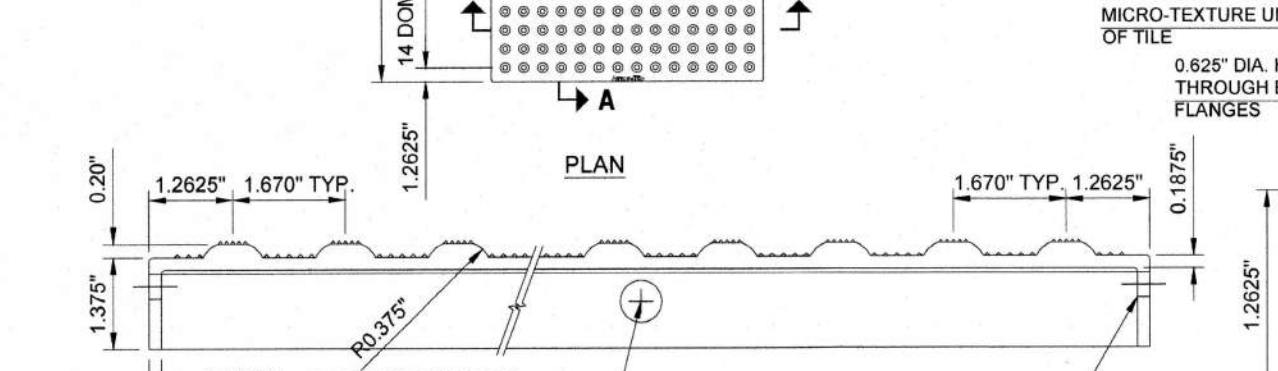
8 CURB RAMP w/ FLARED SIDES NOT TO SCALE



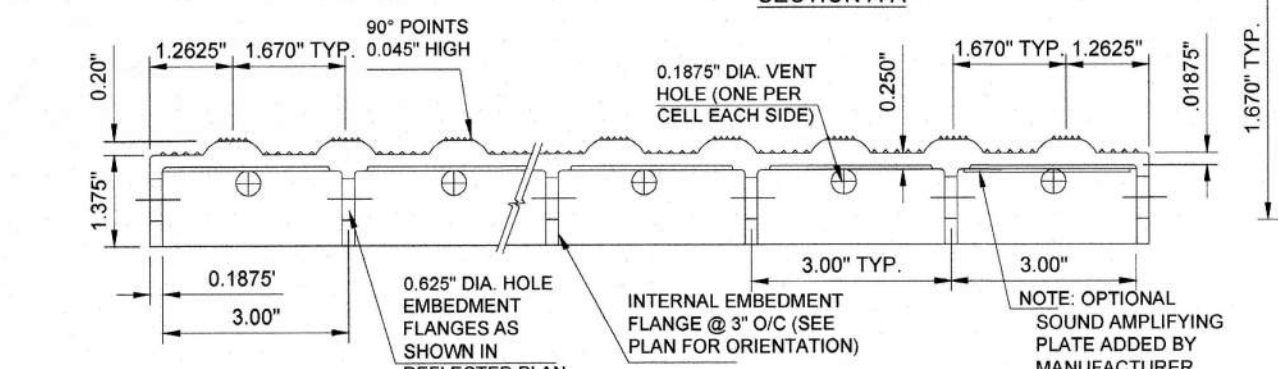
8A CURB RAMP w/ SHORT FLARED SIDES NOT TO SCALE



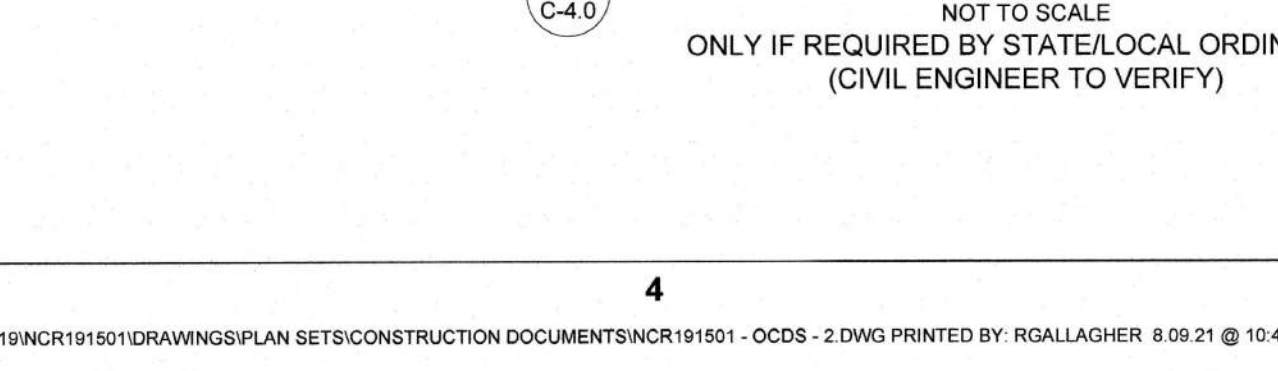
9 RETURNED CURB ACCESSIBLE RAMP NOT TO SCALE



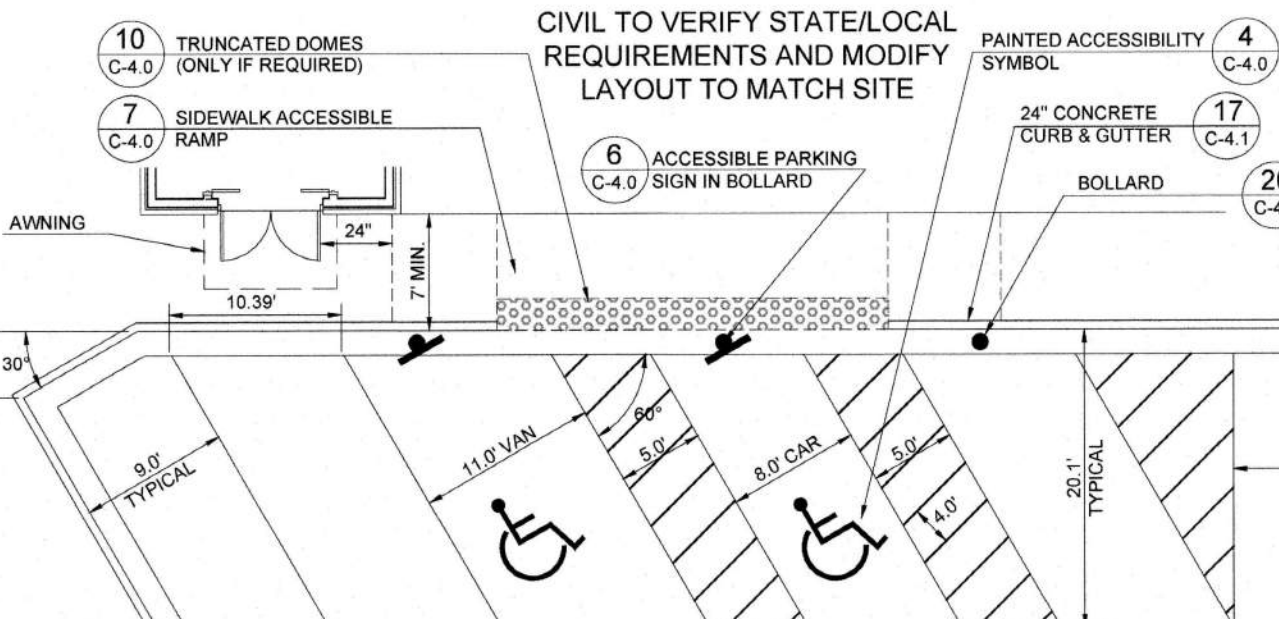
11 TYPICAL CONCRETE SIDEWALK NOT TO SCALE



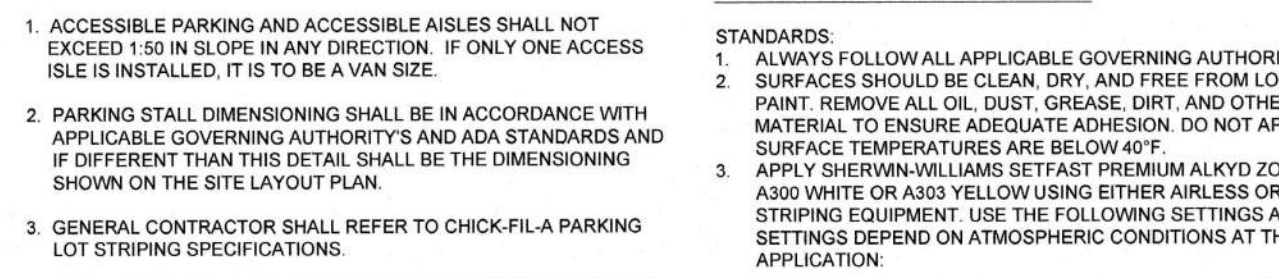
12 SIDEWALK WITH CURB & GUTTER SECTION NOT TO SCALE



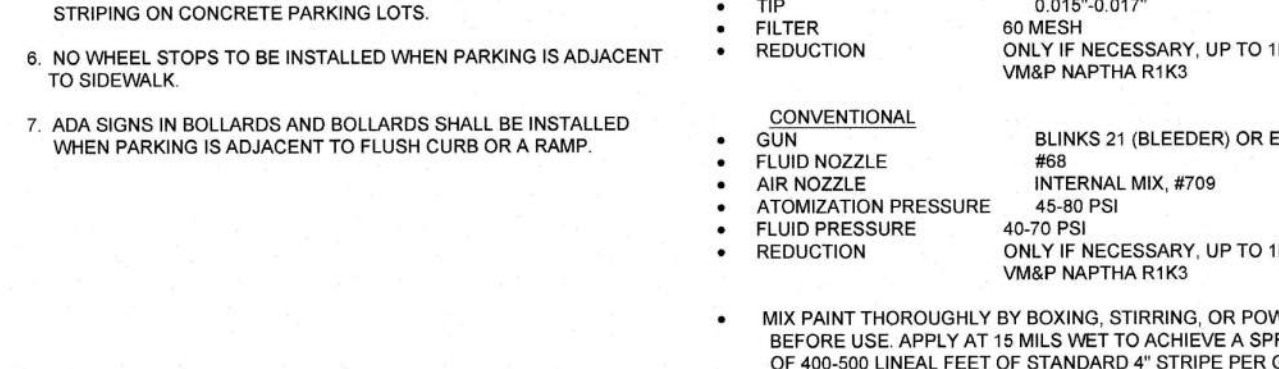
10 TRUNCATED DOMES - CAST IN PLACE NOT TO SCALE



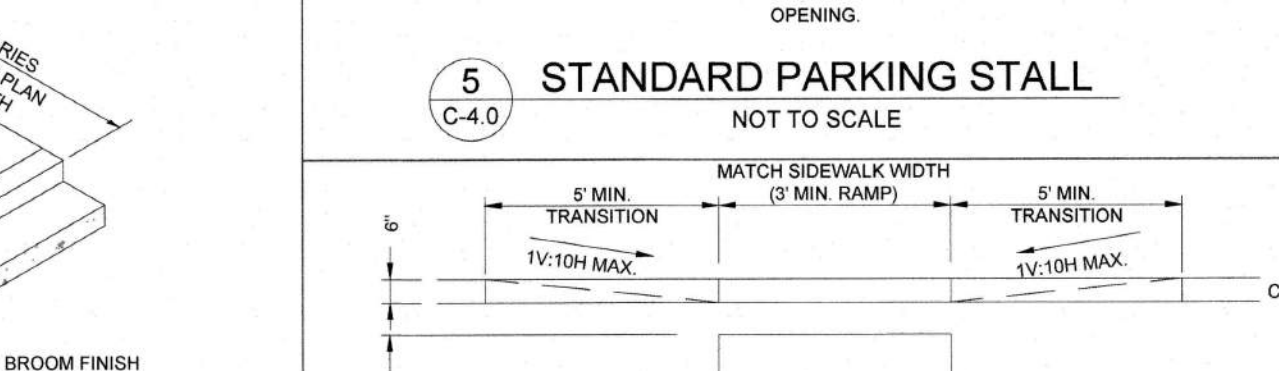
CIVIL TO VERIFY STATE/LOCAL REQUIREMENTS AND MODIFY LAYOUT TO MATCH SITE



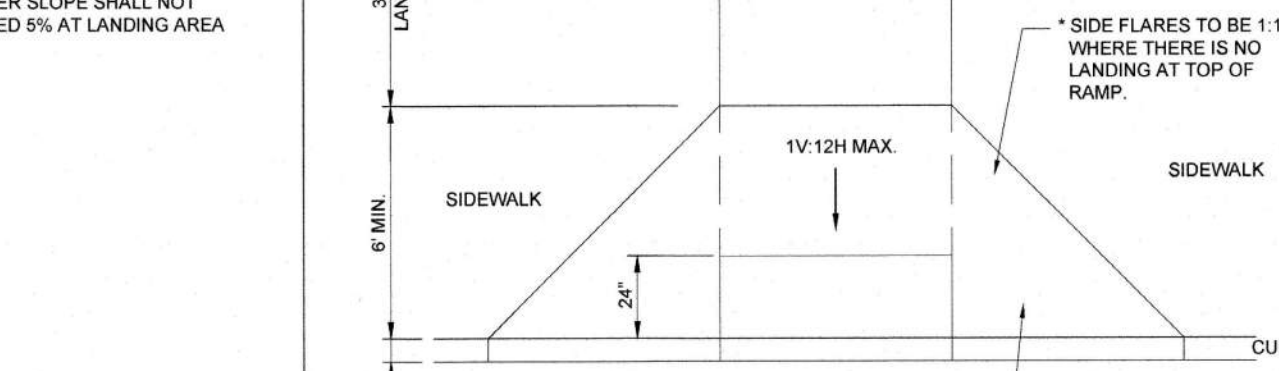
A STOP SIGN & STANDARD MOUNTING POST (MUTCD R 1-1)



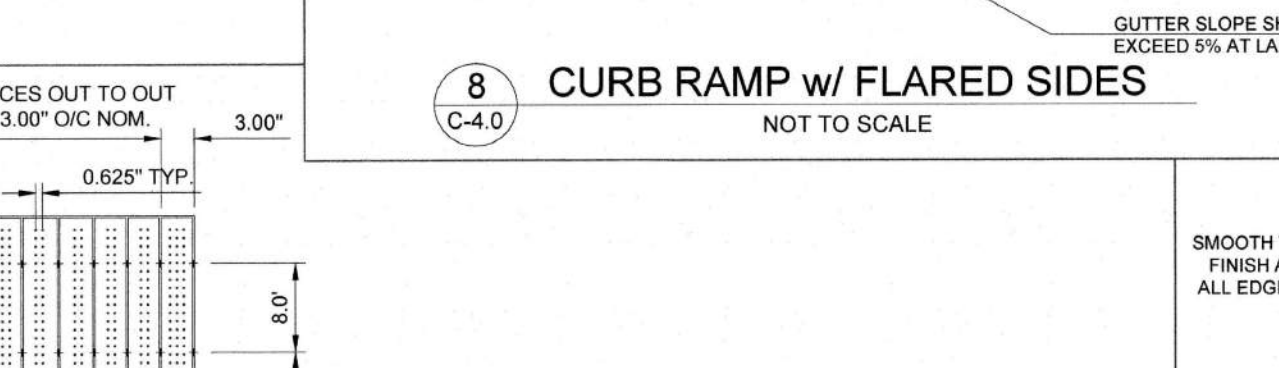
B ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8PS)



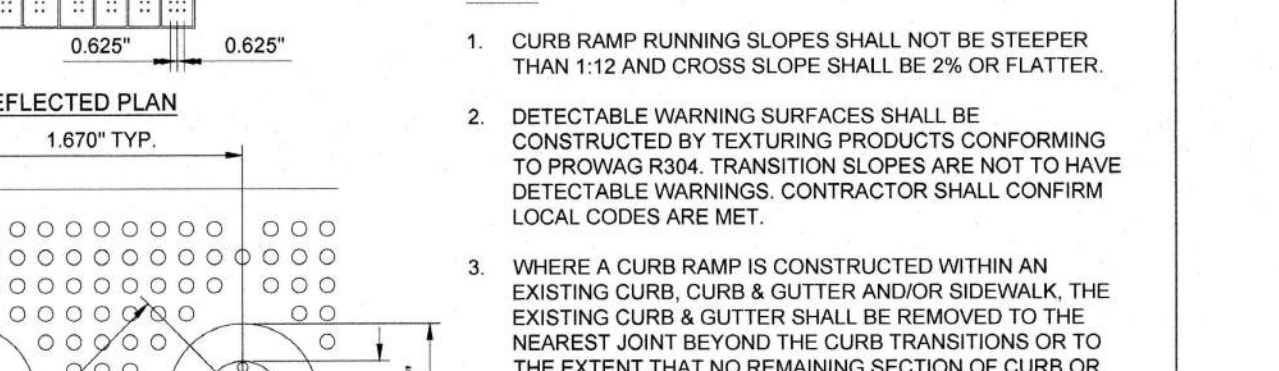
6 DIRECTIONAL SIGNAGE NOT TO SCALE



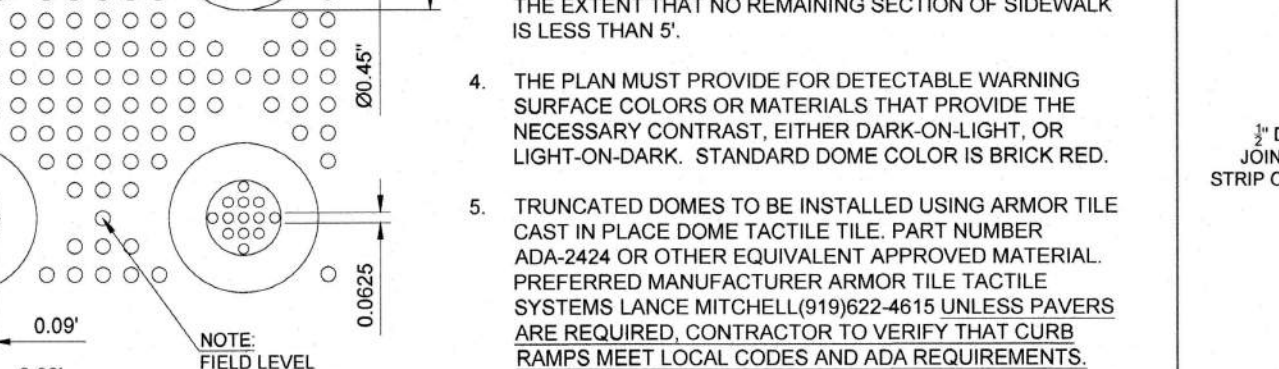
5 STANDARD PARKING STALL NOT TO SCALE



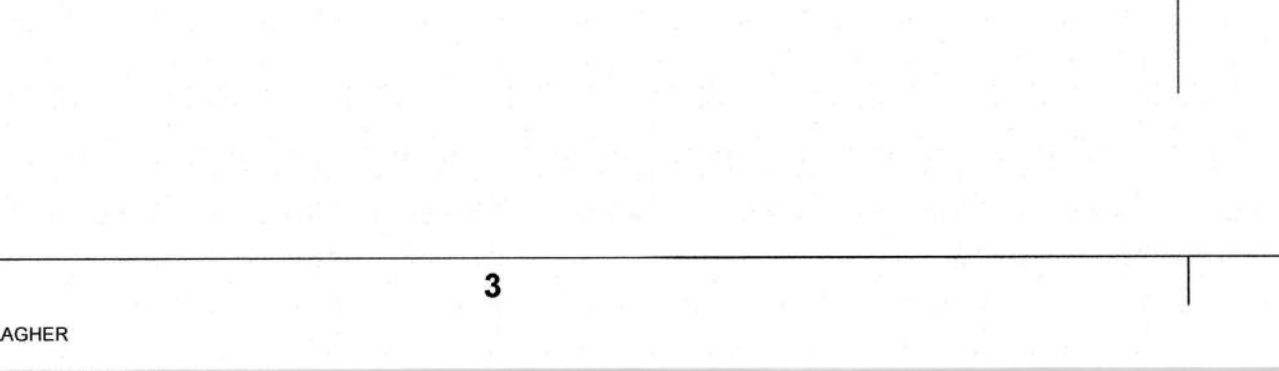
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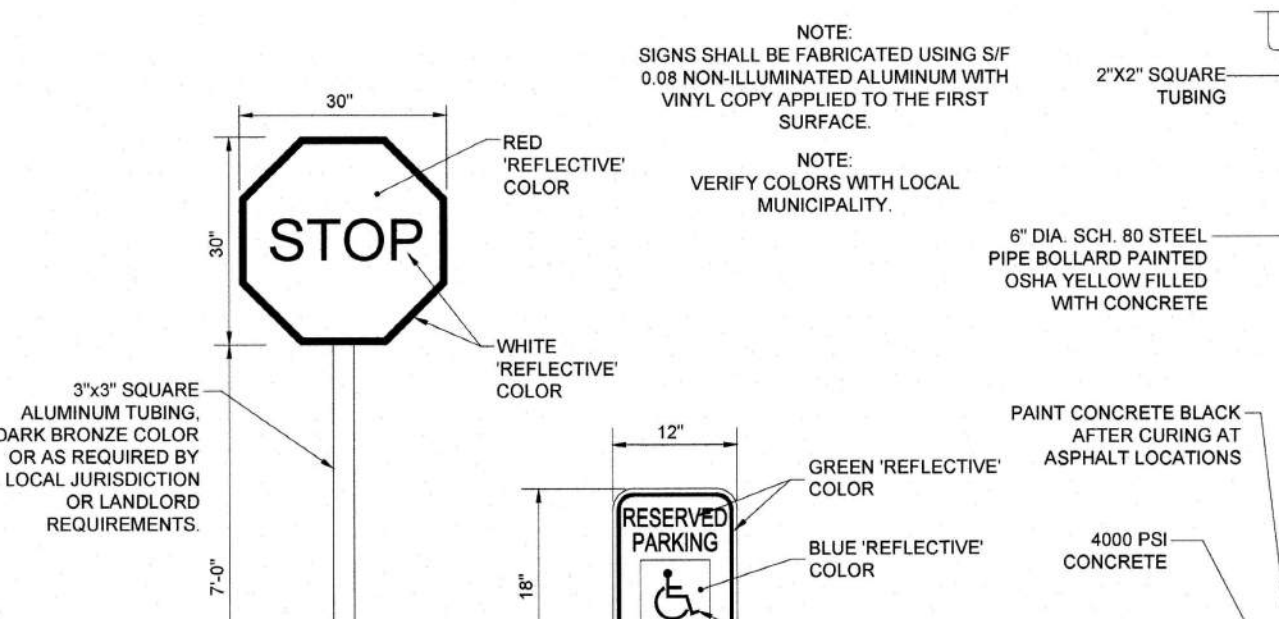
8A CURB RAMP w/ SHORT FLARED SIDES NOT TO SCALE



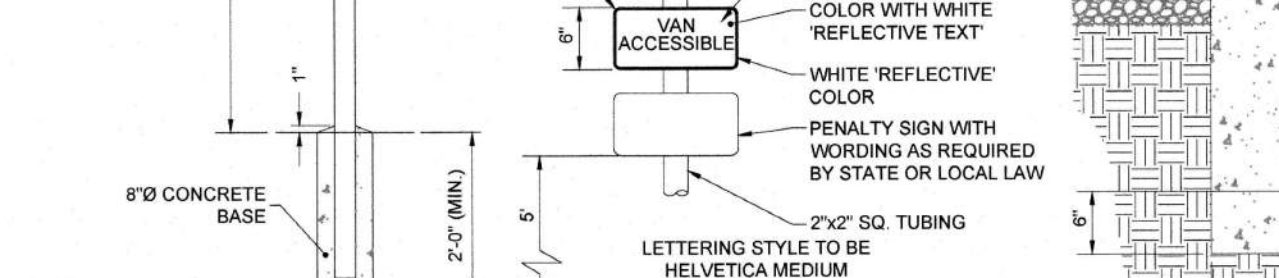
9 RETURNED CURB ACCESSIBLE RAMP NOT TO SCALE



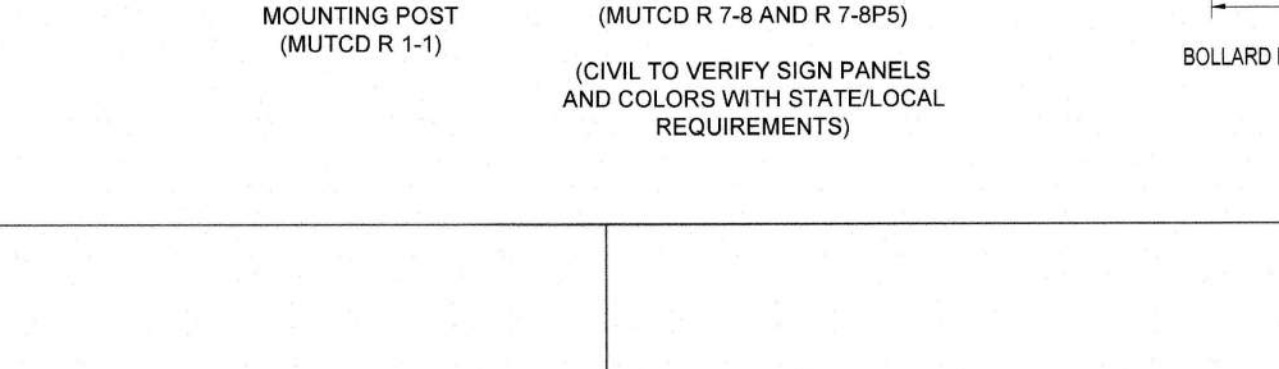
11 TYPICAL CONCRETE SIDEWALK NOT TO SCALE



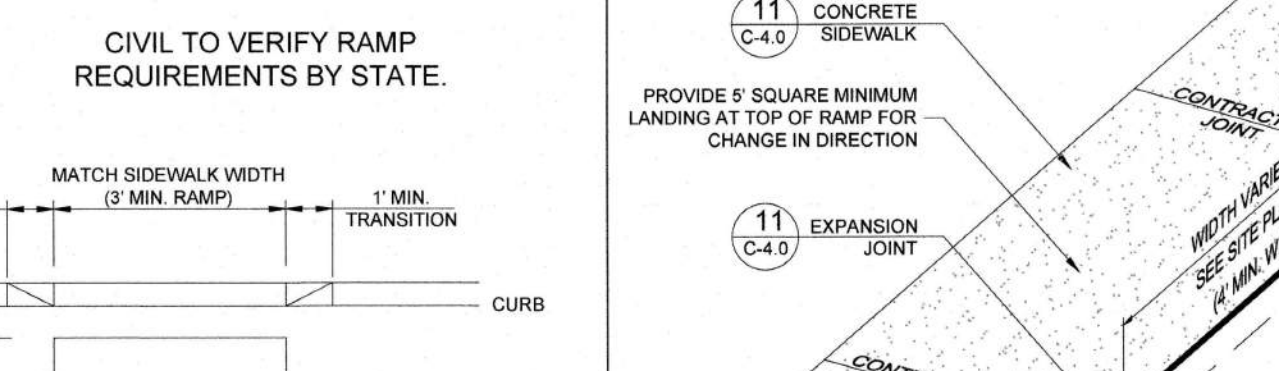
A STOP SIGN & STANDARD MOUNTING POST (MUTCD R 1-1)



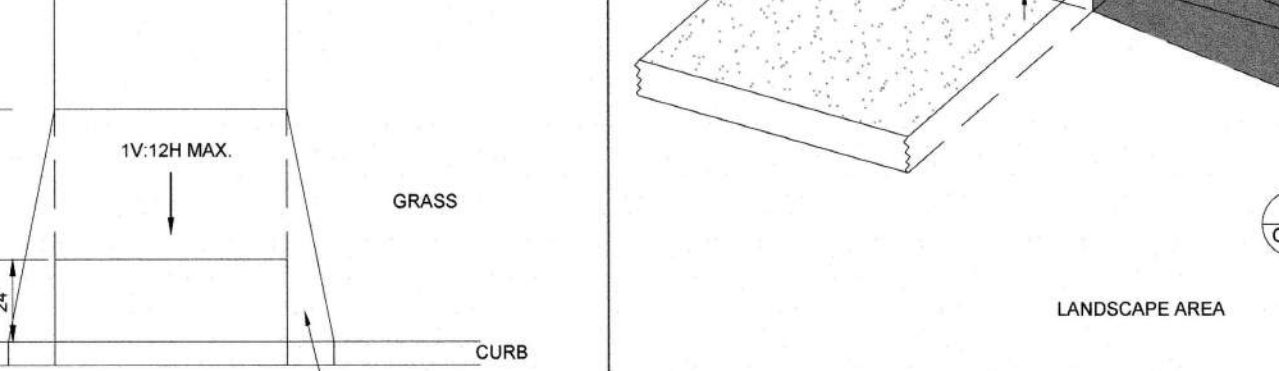
B ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8PS)



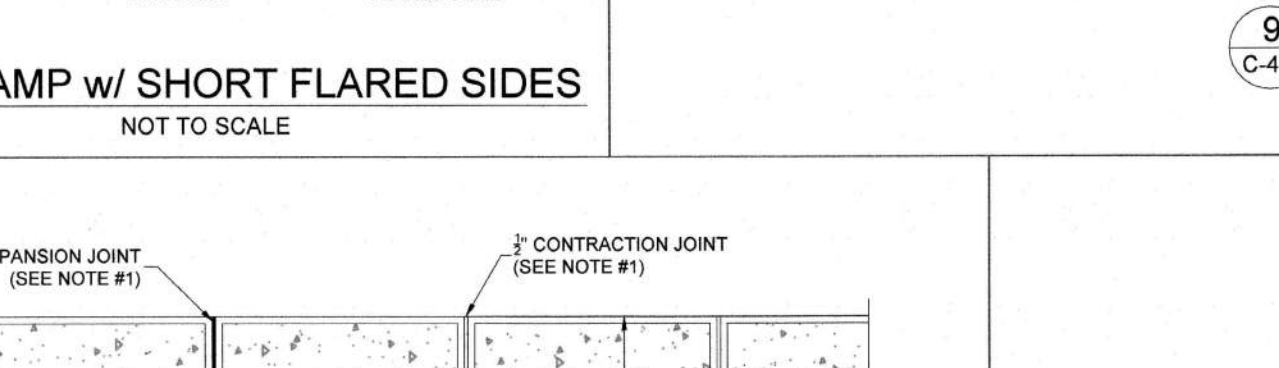
6 DIRECTIONAL SIGNAGE NOT TO SCALE



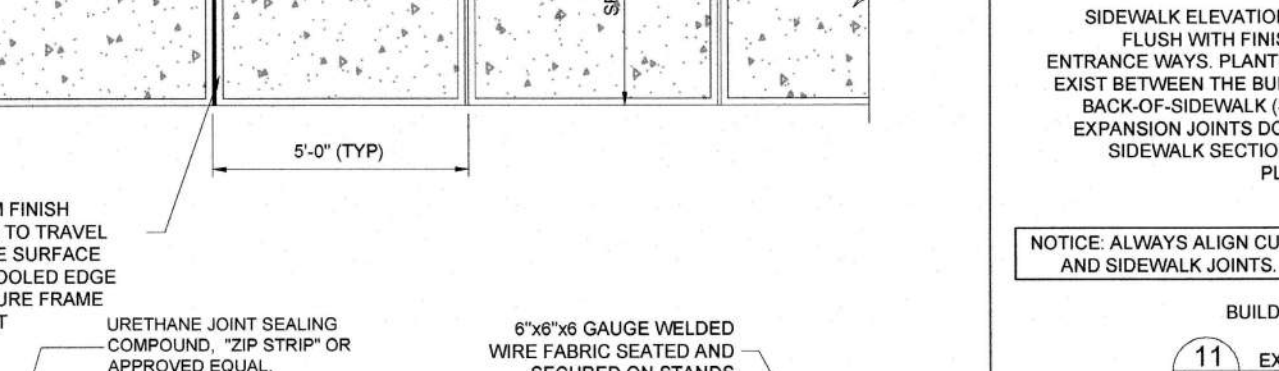
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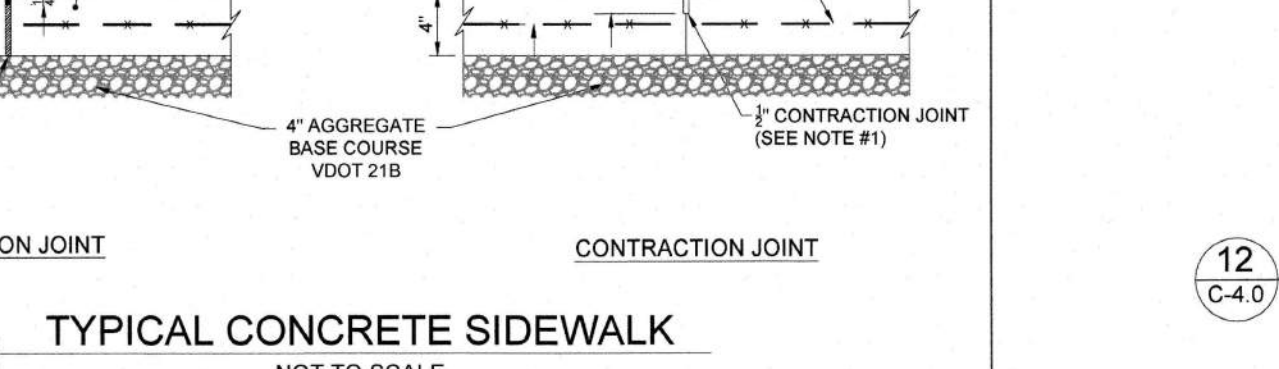
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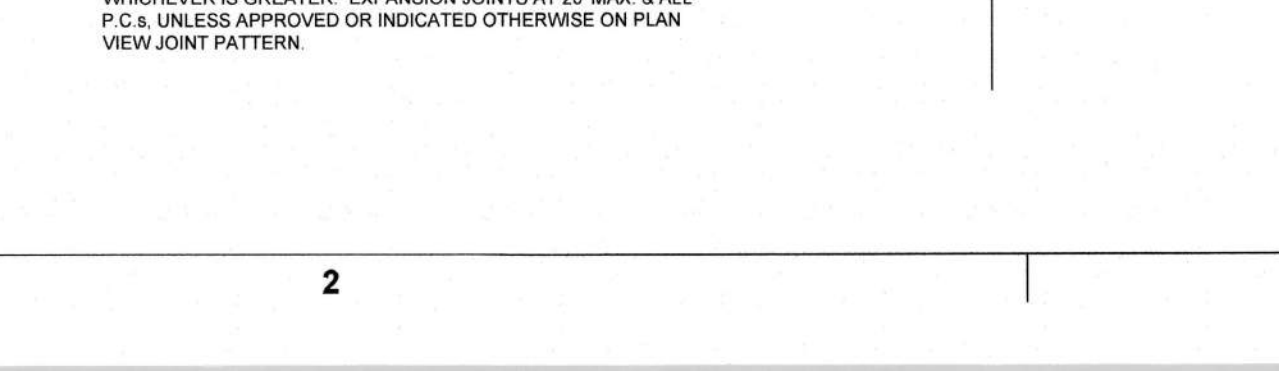
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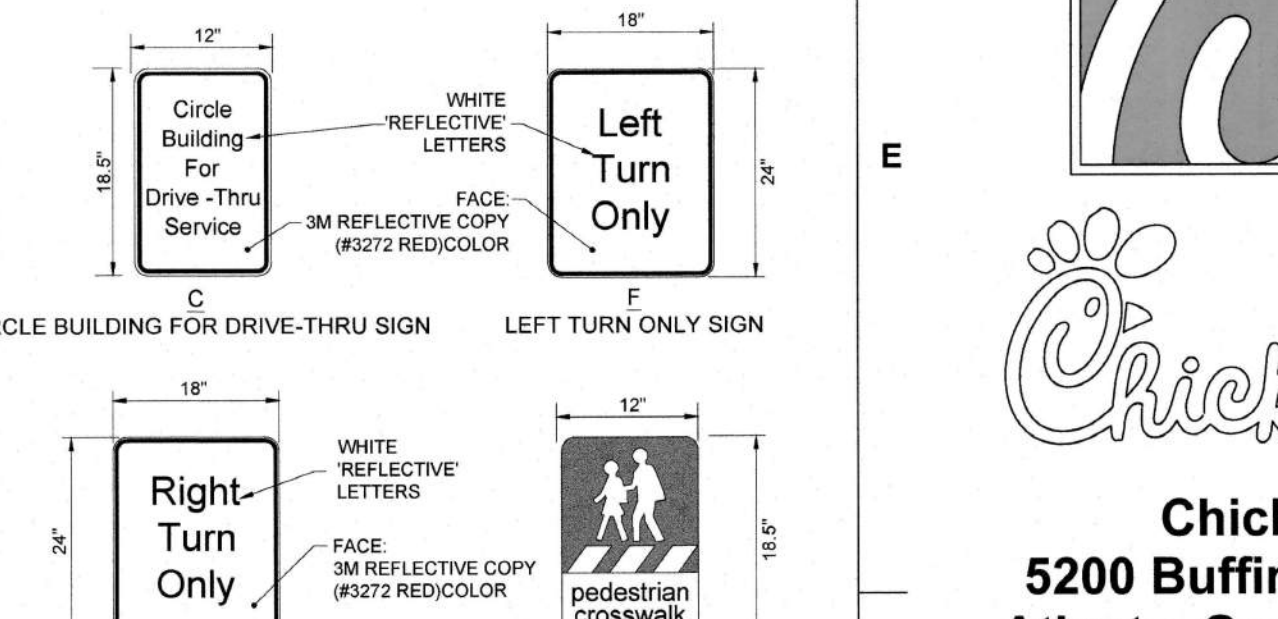
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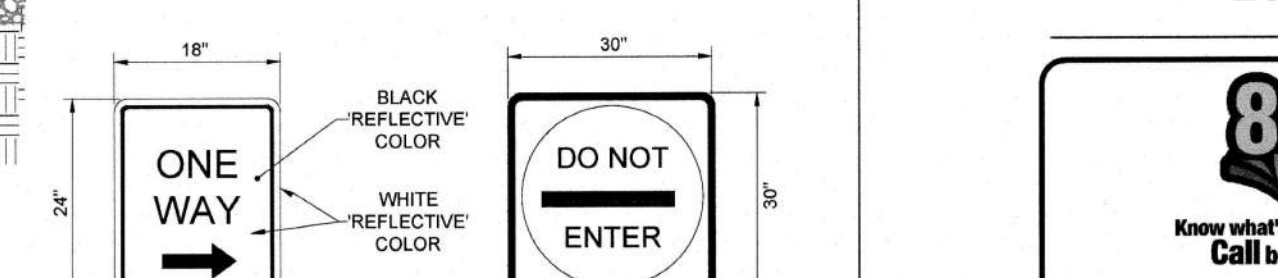
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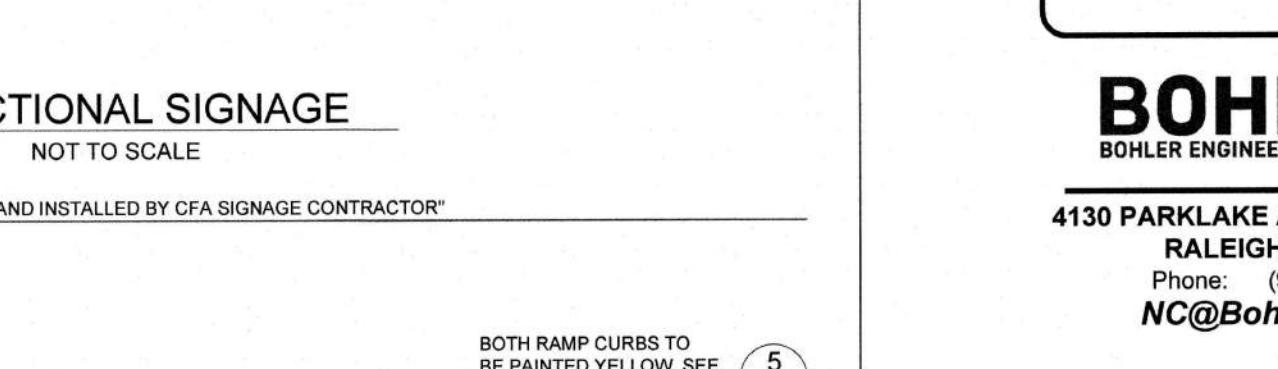
12 SIDEWALK WITH CURB & GUTTER SECTION NOT TO SCALE



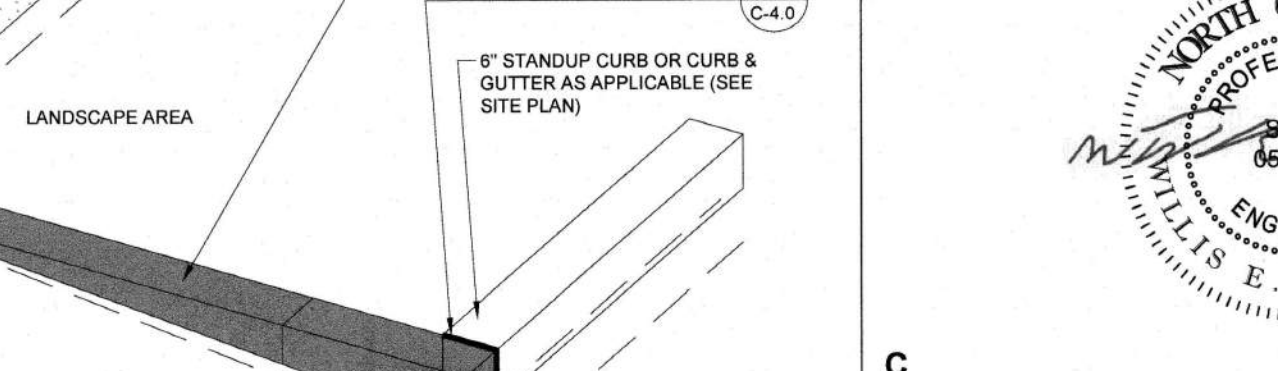
A STOP SIGN & STANDARD MOUNTING POST (MUTCD R 1-1)



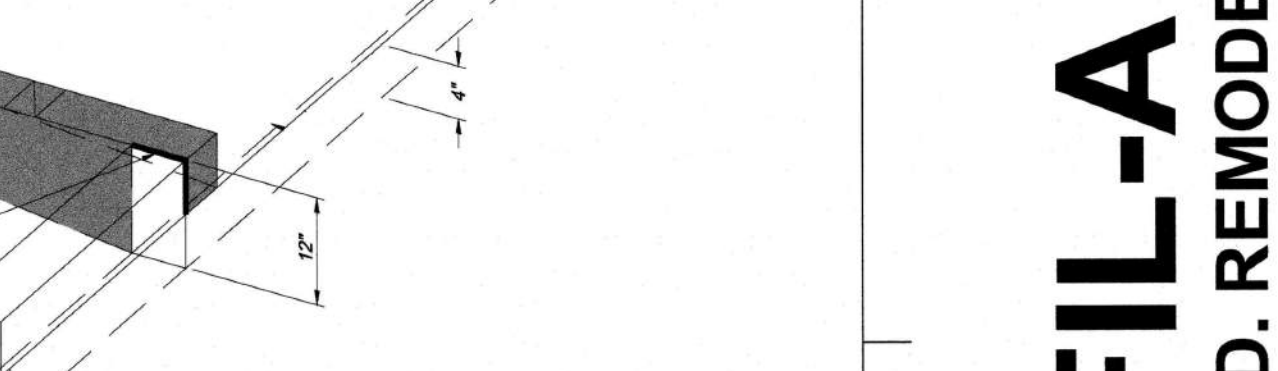
B ACCESSIBLE PARKING SIGN (MUTCD R 7-8 AND R 7-8PS)



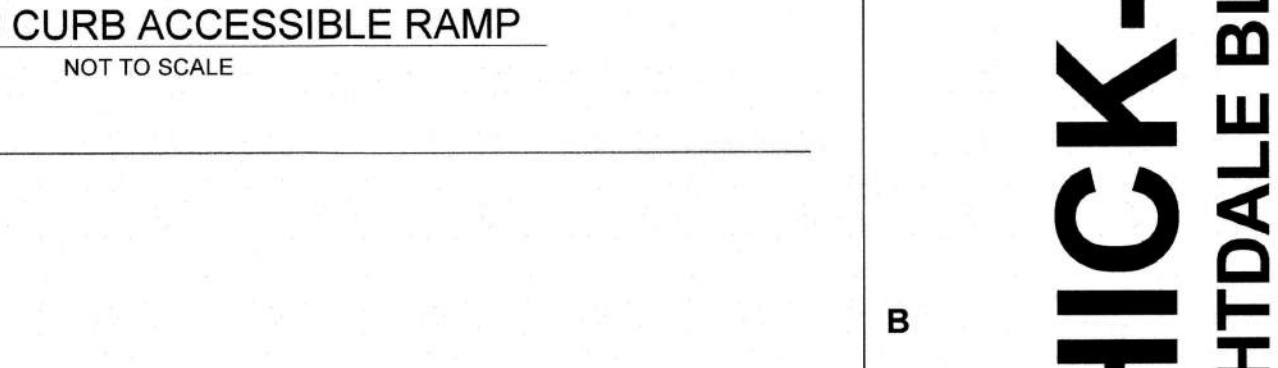
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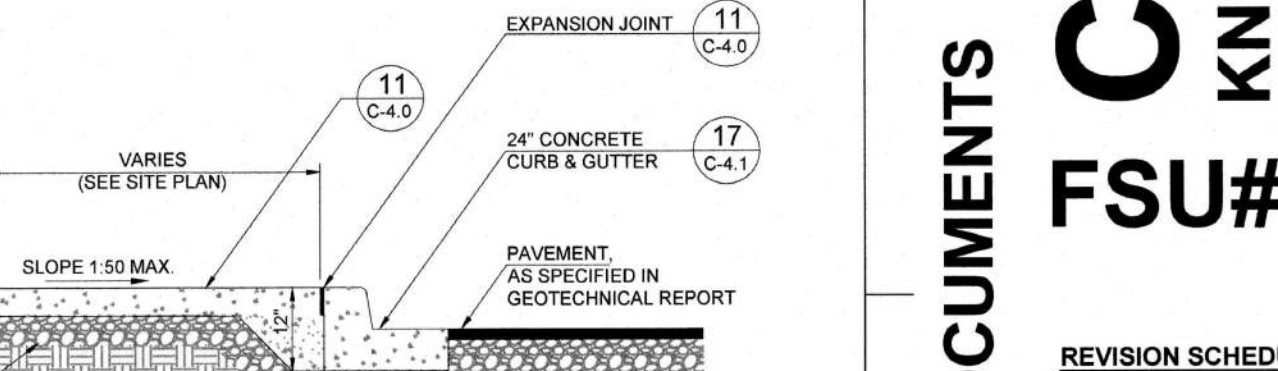
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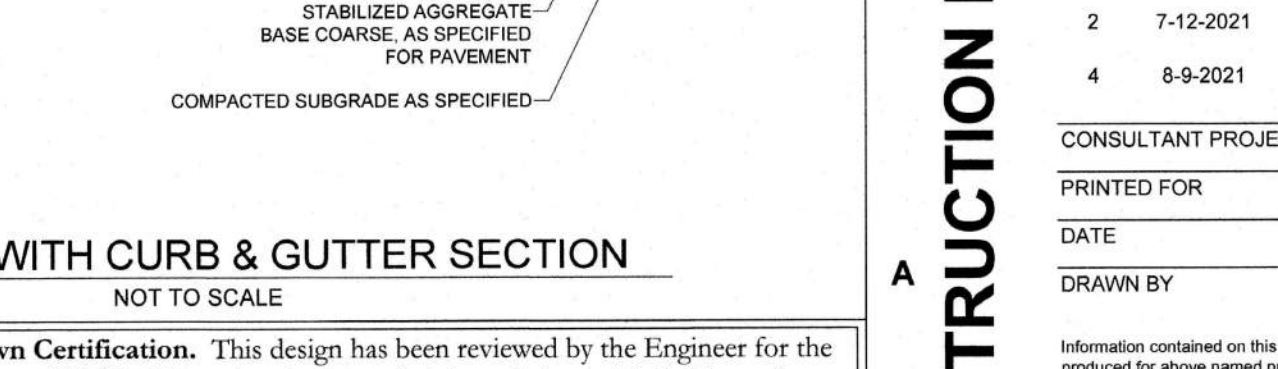
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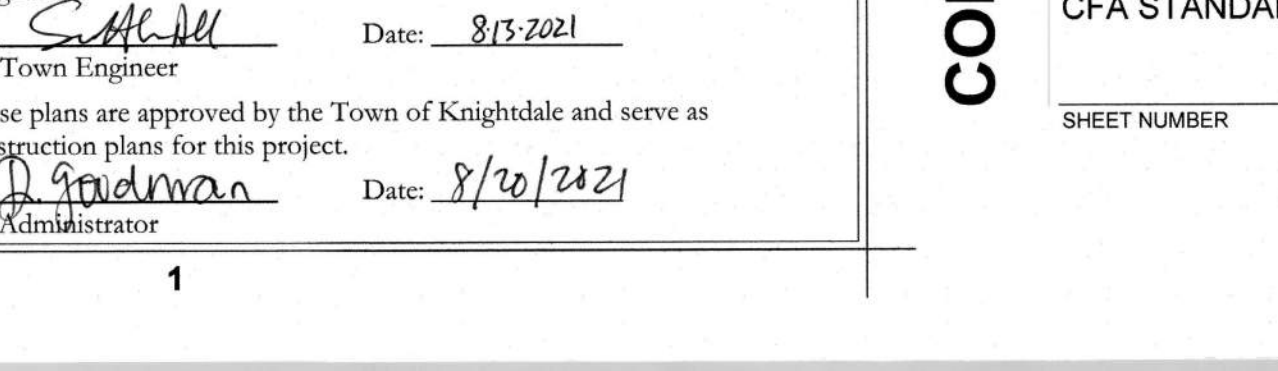
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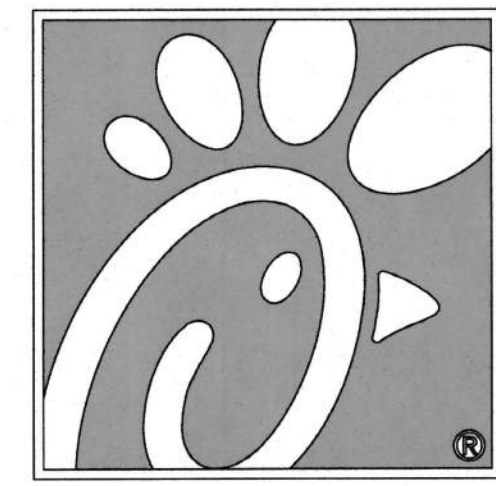
9 RETURNED CURB ACCESSIBLE RAMP NOT TO SCALE



11 TYPICAL CONCRETE SIDEWALK NOT TO SCALE



12 SIDEWALK WITH CURB & GUTTER SECTION NOT TO SCALE

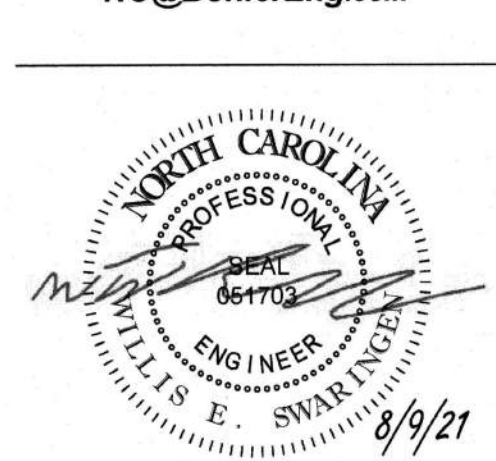


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KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545  
FSU#1760

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501  
PRINTED FOR CONSTRUCTION  
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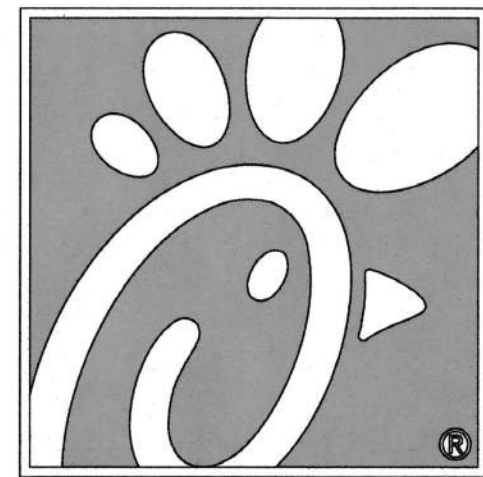
SHEET CFA STANDARD DETAILS  
SHEET NUMBER

C-4.0









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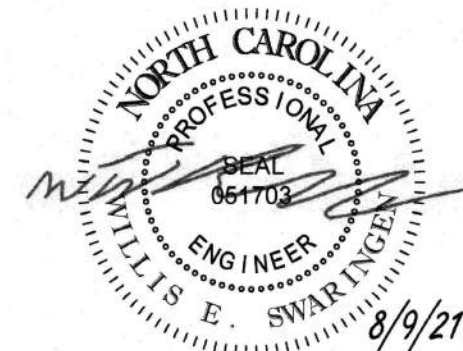
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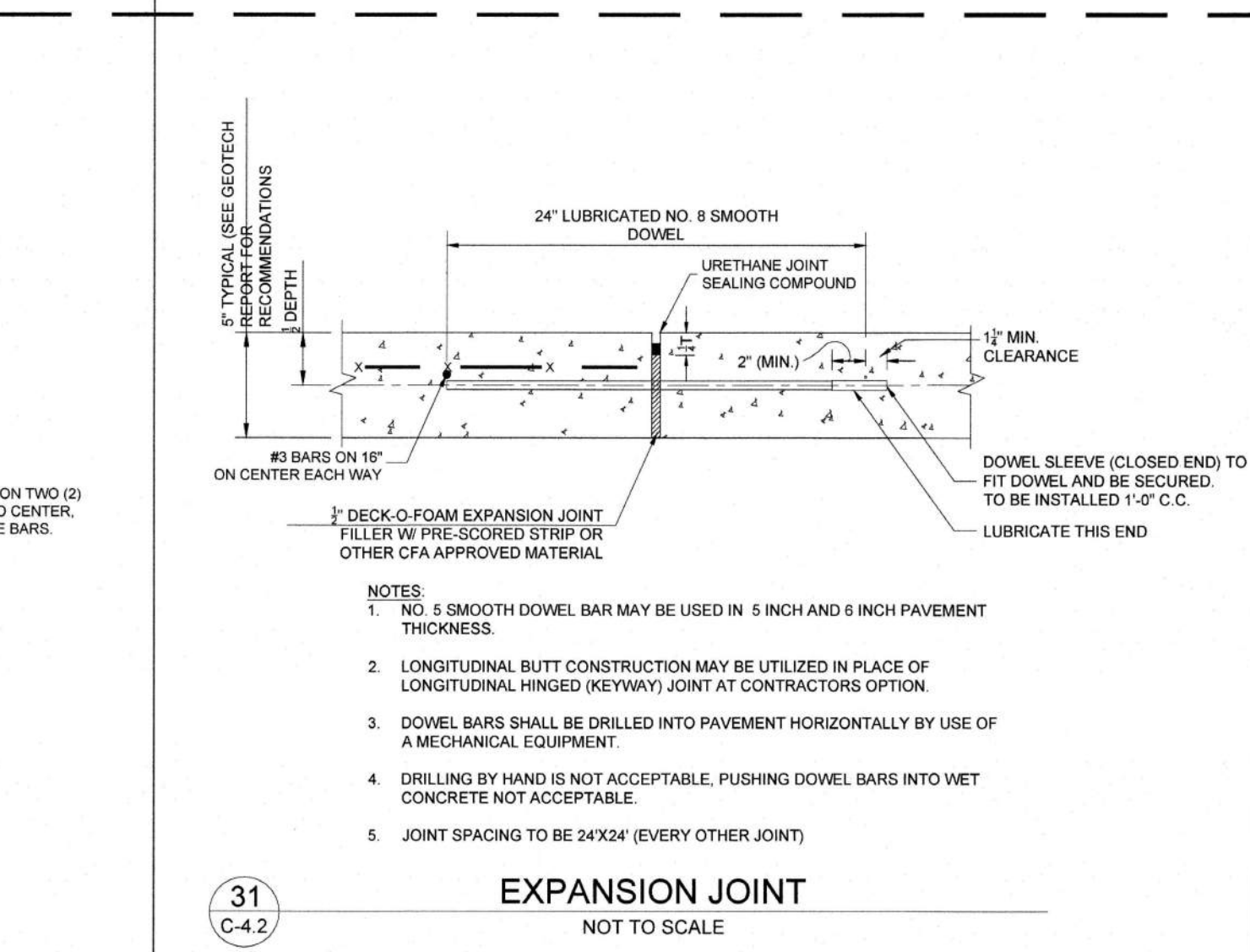
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PRINTED FOR CONSTRUCTION  
DATE 5/18/21  
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SHEET  
CFA STANDARD DETAILS

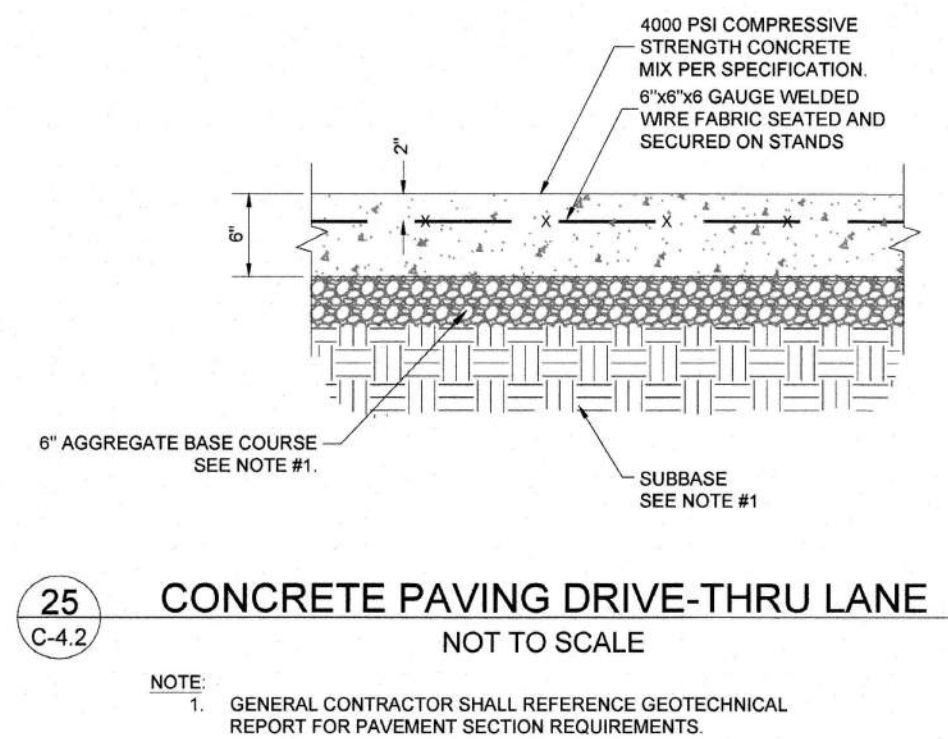
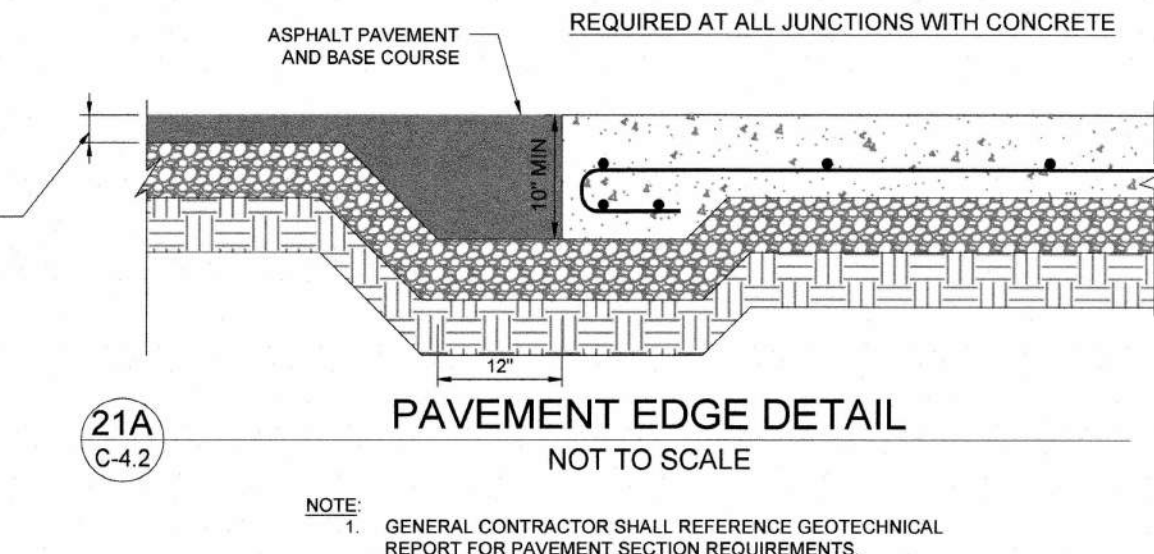
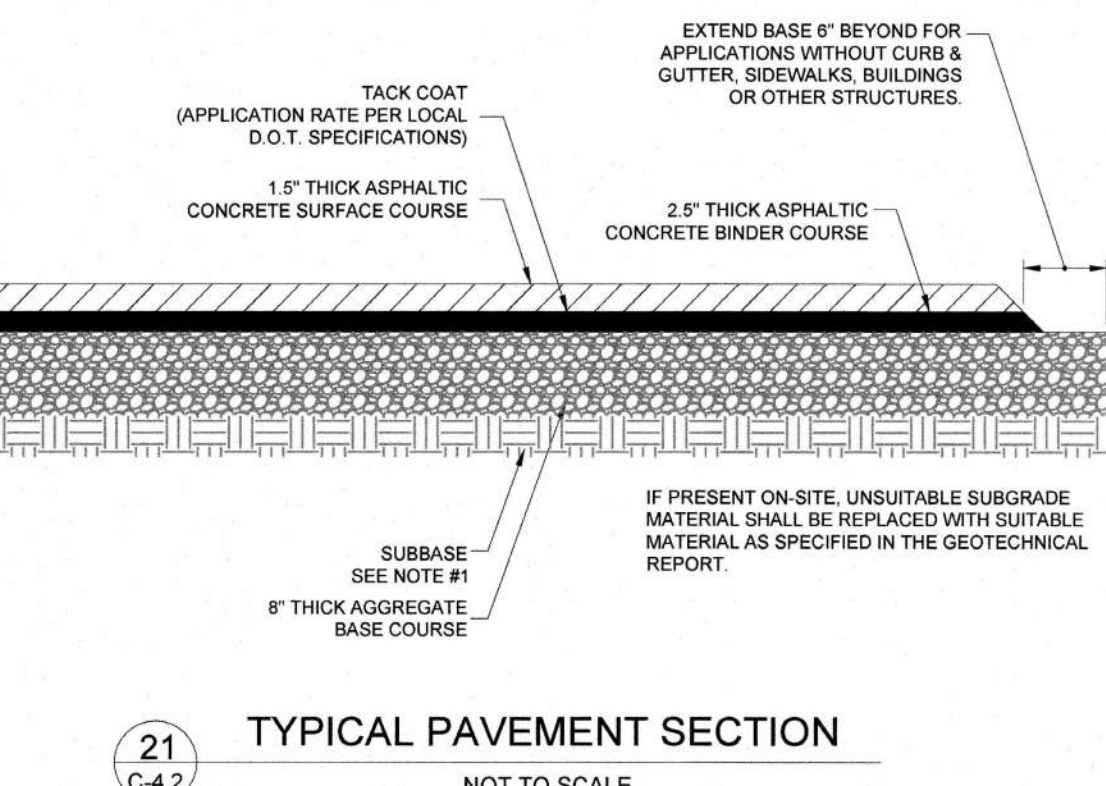
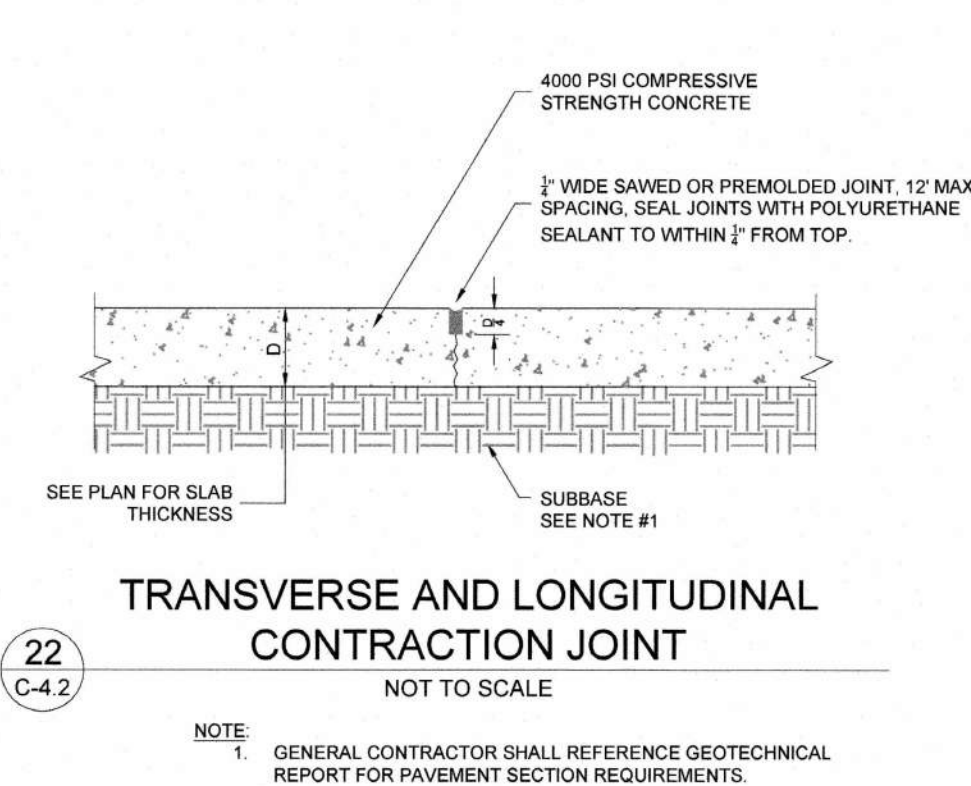
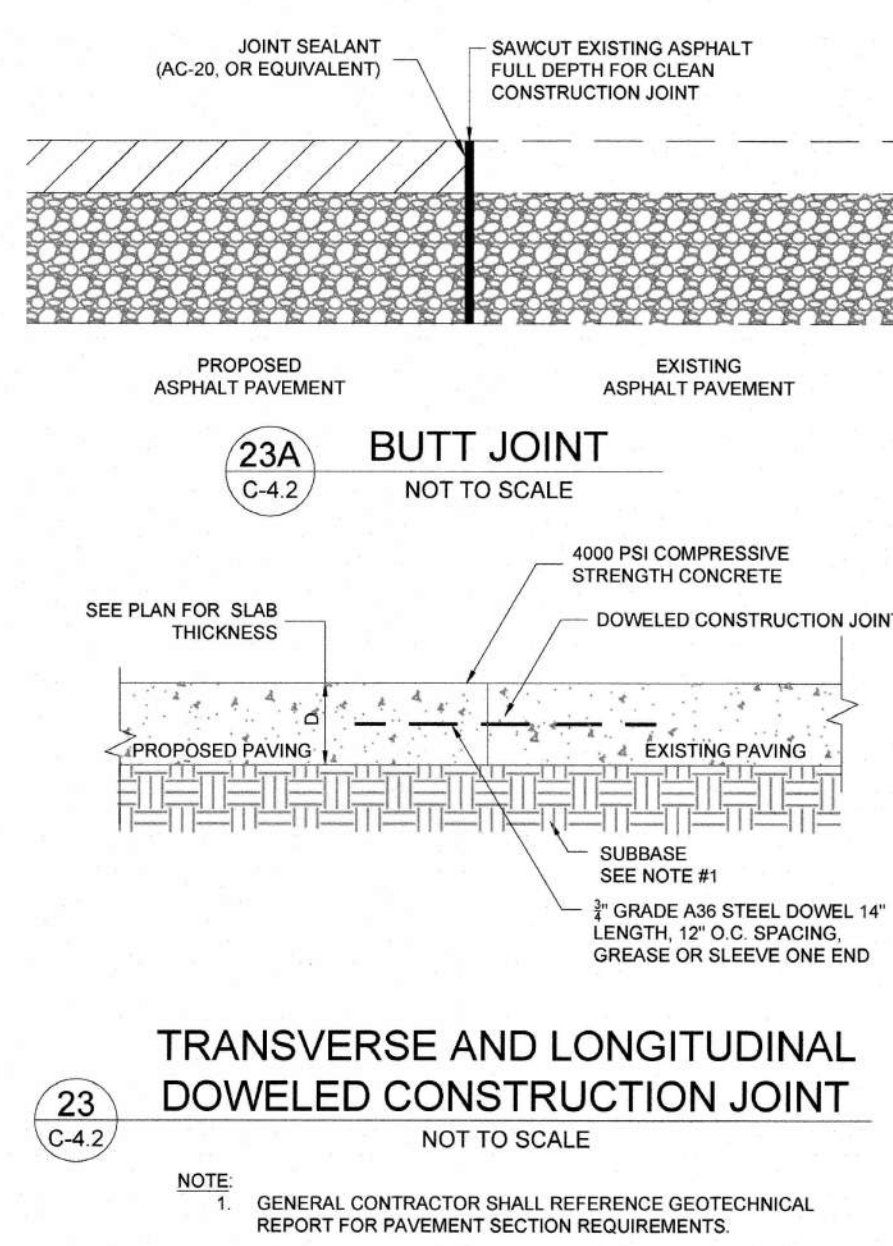
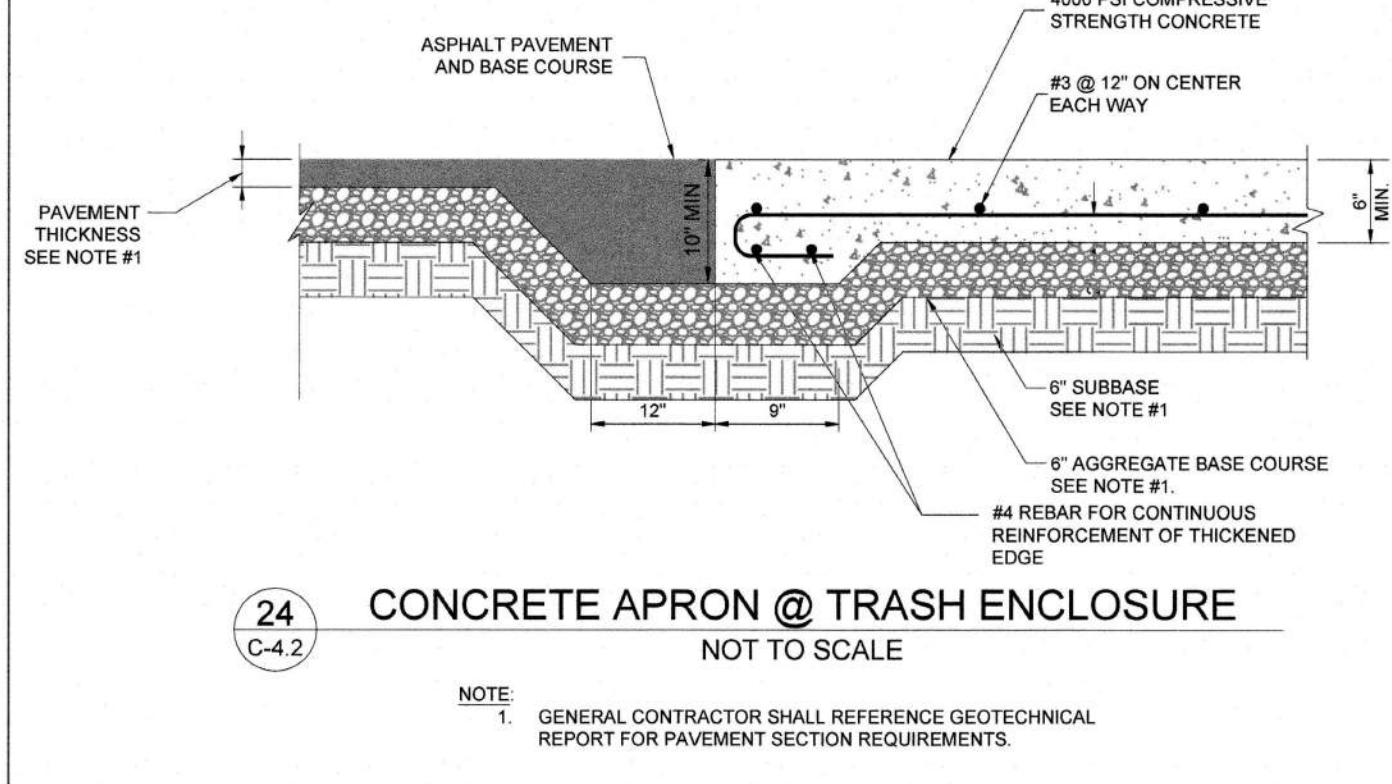
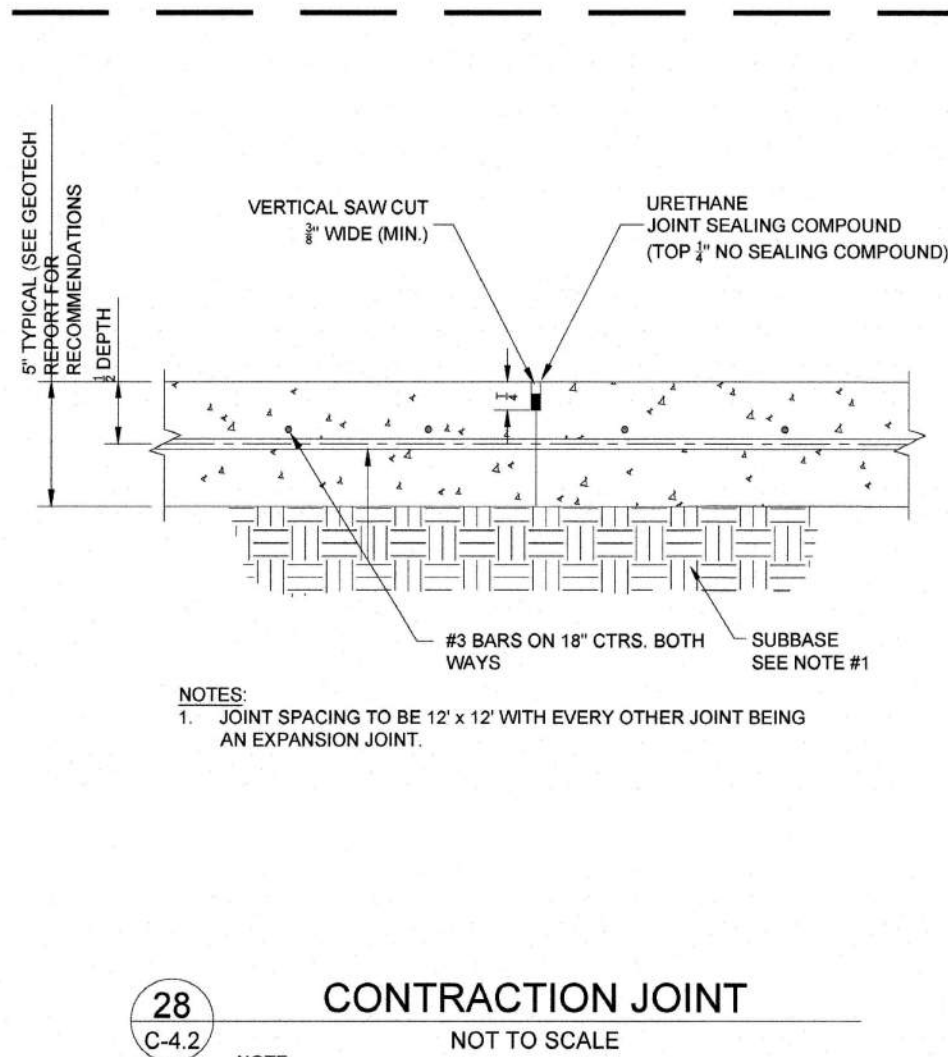
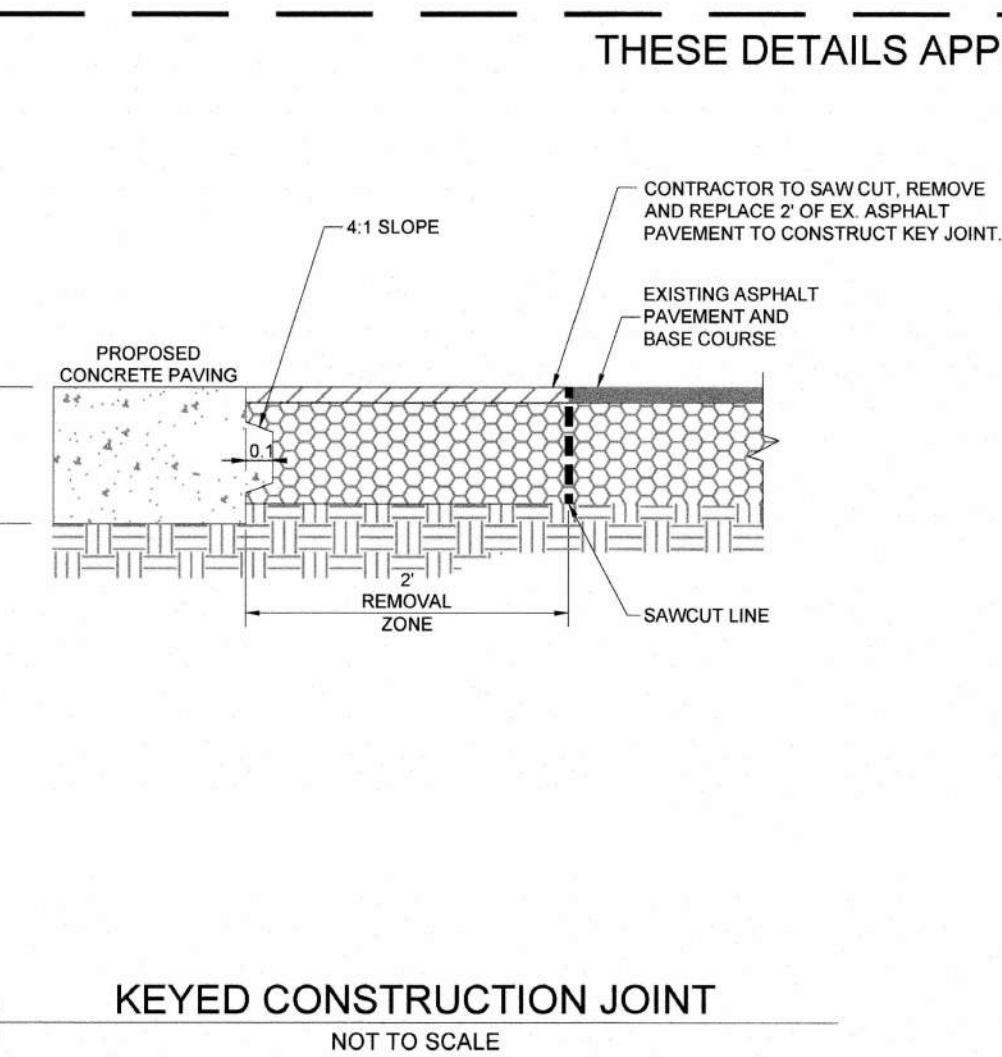
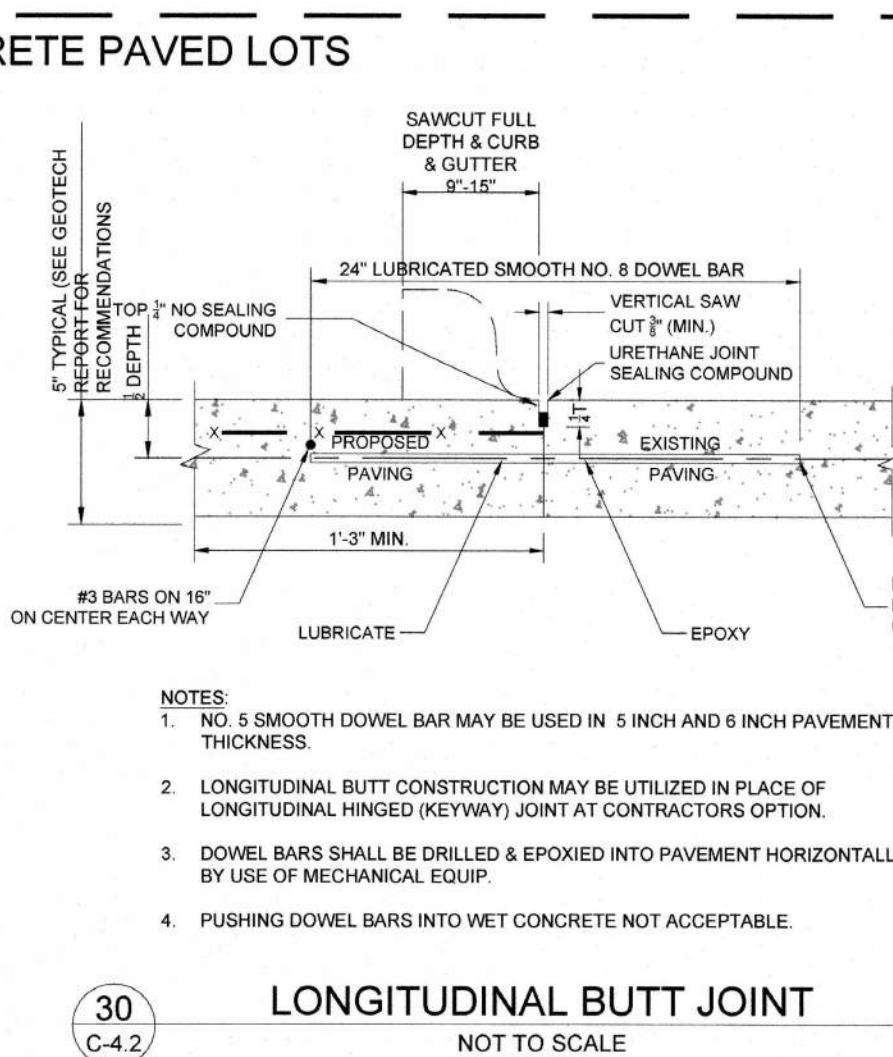
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**C-4.2**

CONSTRUCTION DOCUMENTS

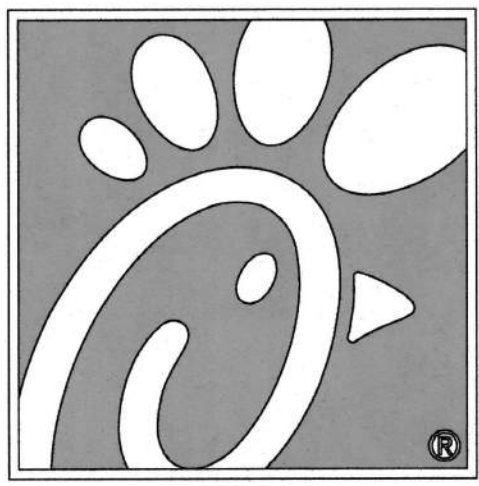


a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: S. Allen Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: D. Goodman Date: 8/20/2021  
Administrator



E  
D  
C  
B  
A





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RALEIGH, NC 27612  
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KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

**FSU#1760**

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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CONSULTANT PROJECT # NCR191501

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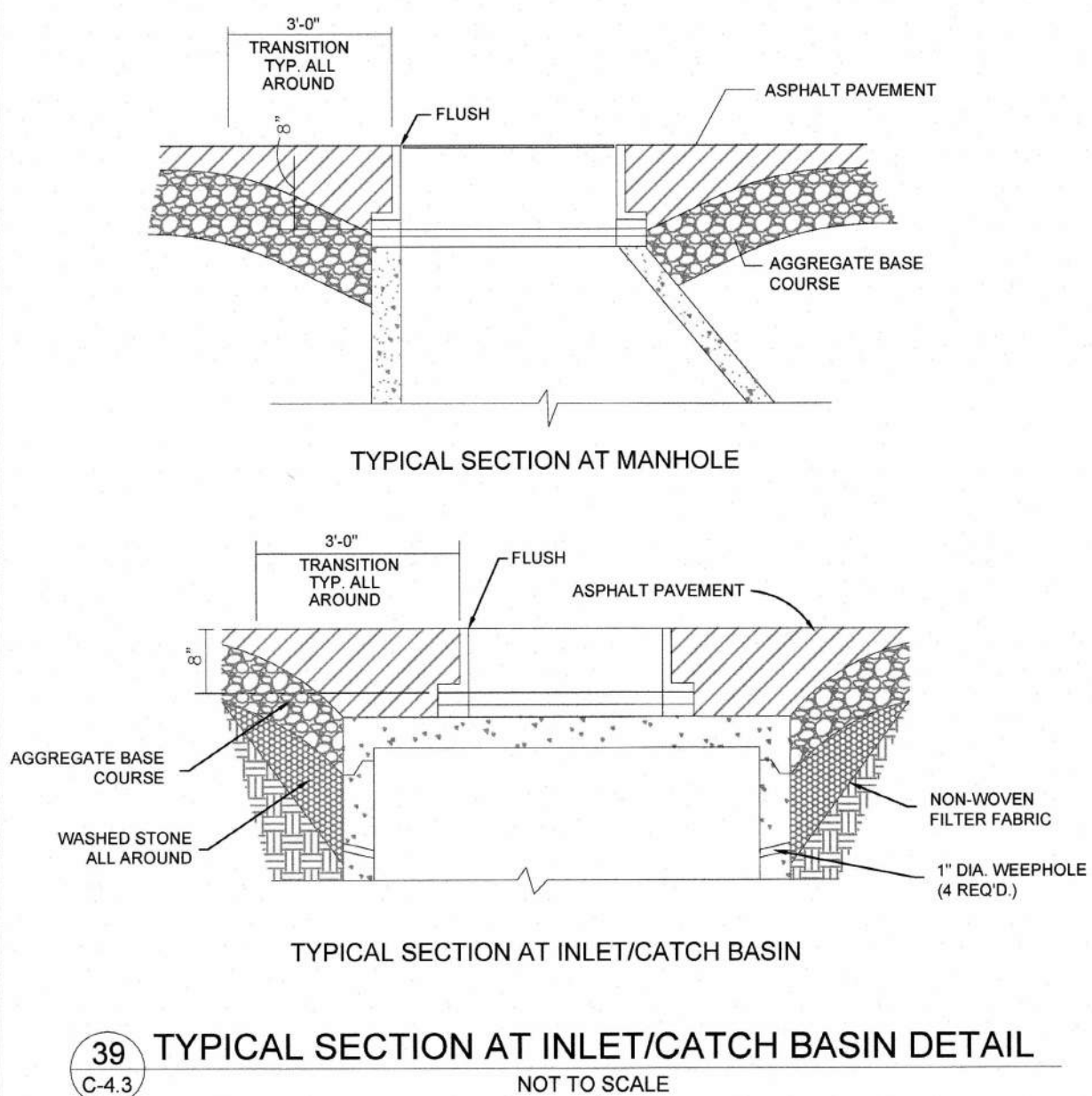
SHEET CFA STANDARD DETAILS

SHEET NUMBER

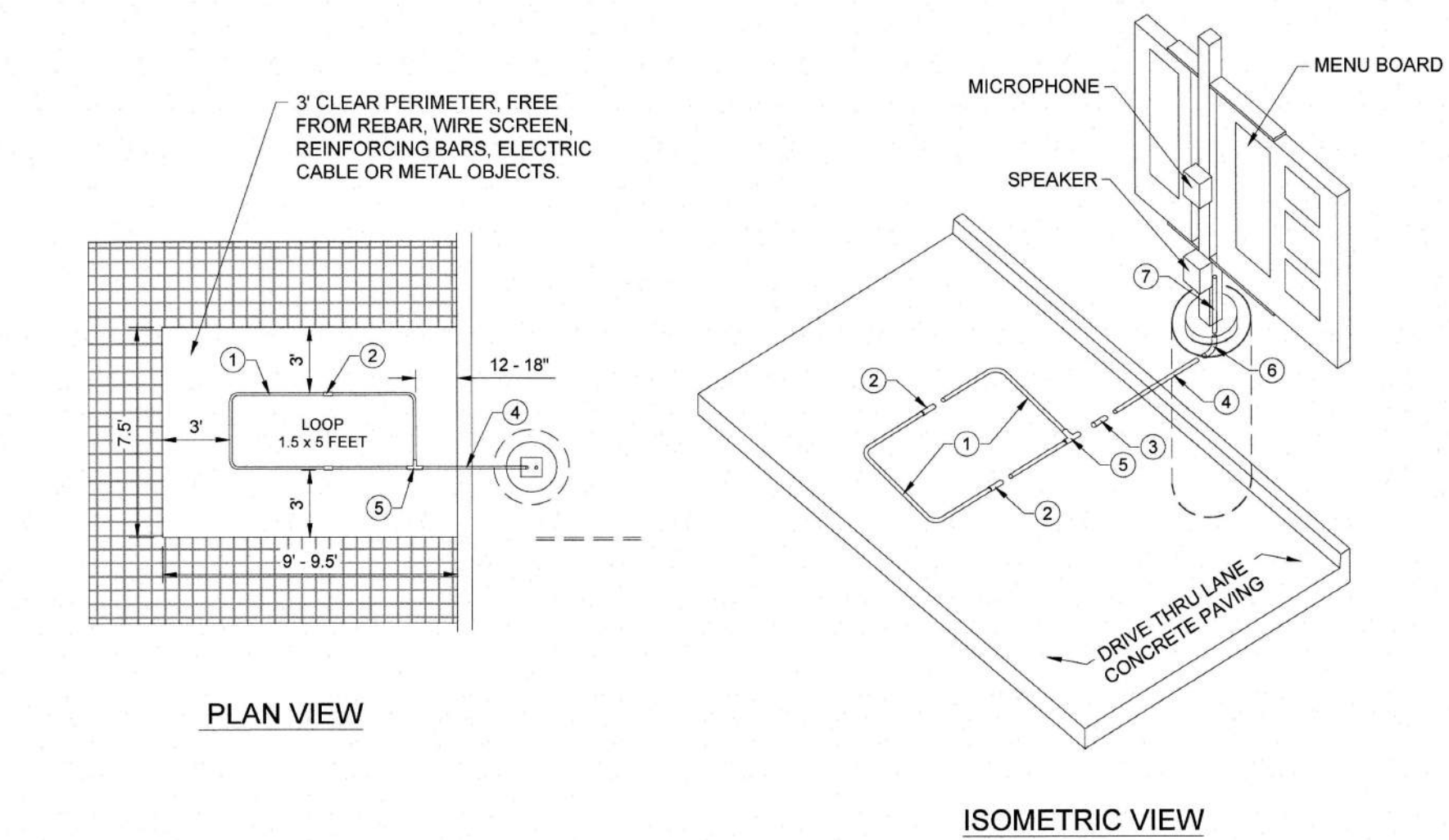
**C-4.3**

CONSTRUCTION DOCUMENTS

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: Salim Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: D. Quinn Date: 8/20/2021  
Administrator

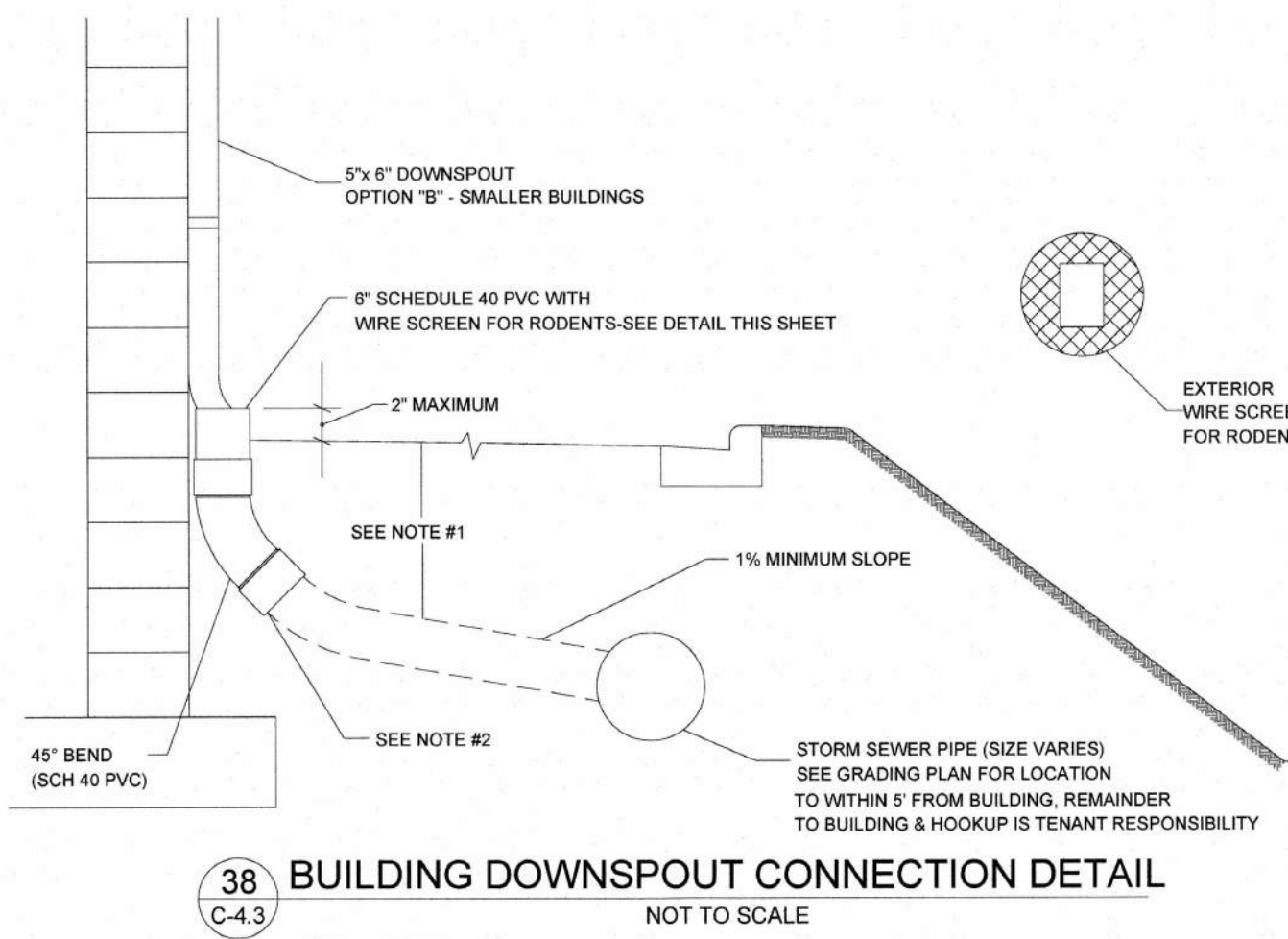


39 TYPICAL SECTION AT INLET/CATCH BASIN DETAIL  
NOT TO SCALE



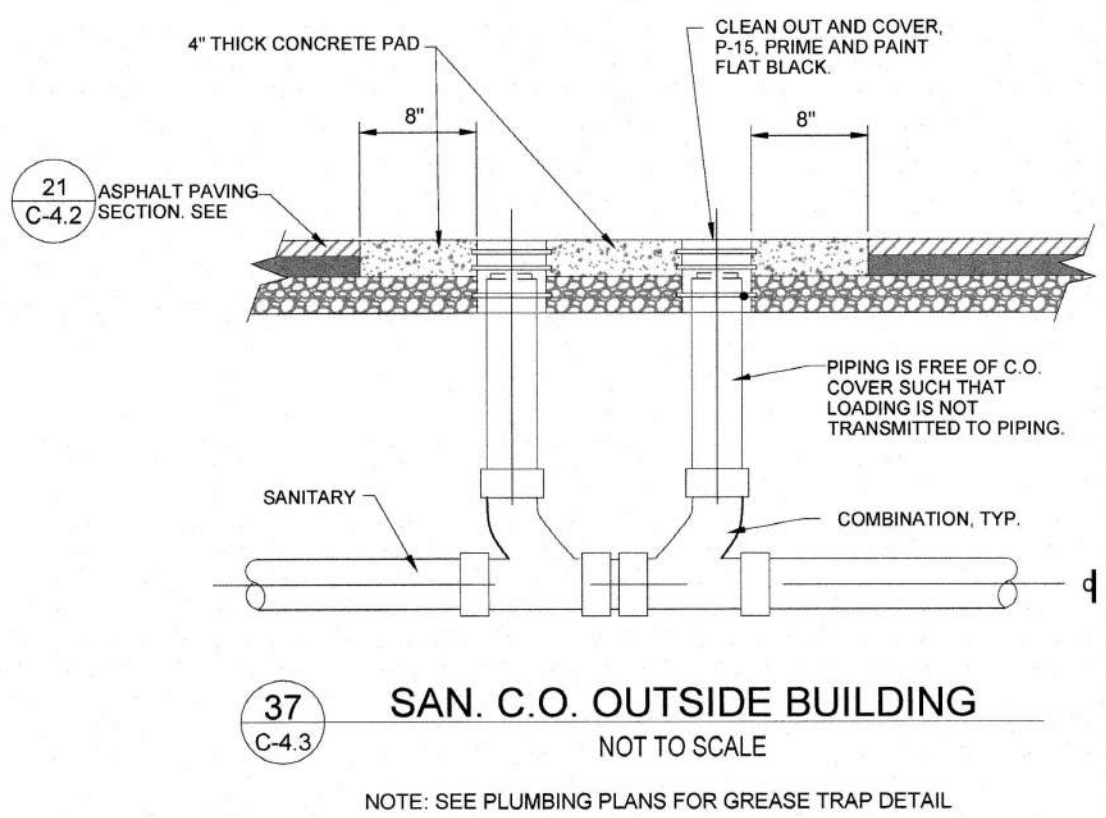
35 MENU BOARD LOOP DETECTION SYSTEM  
NOT TO SCALE

- NOTES:
1. LOOP DETECTOR IS MODEL NO. VDL100 VEHICLE DETECTION LOOP MANUFACTURED BY MH ELECTRONICS, INC.
  2. FOLLOW MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.



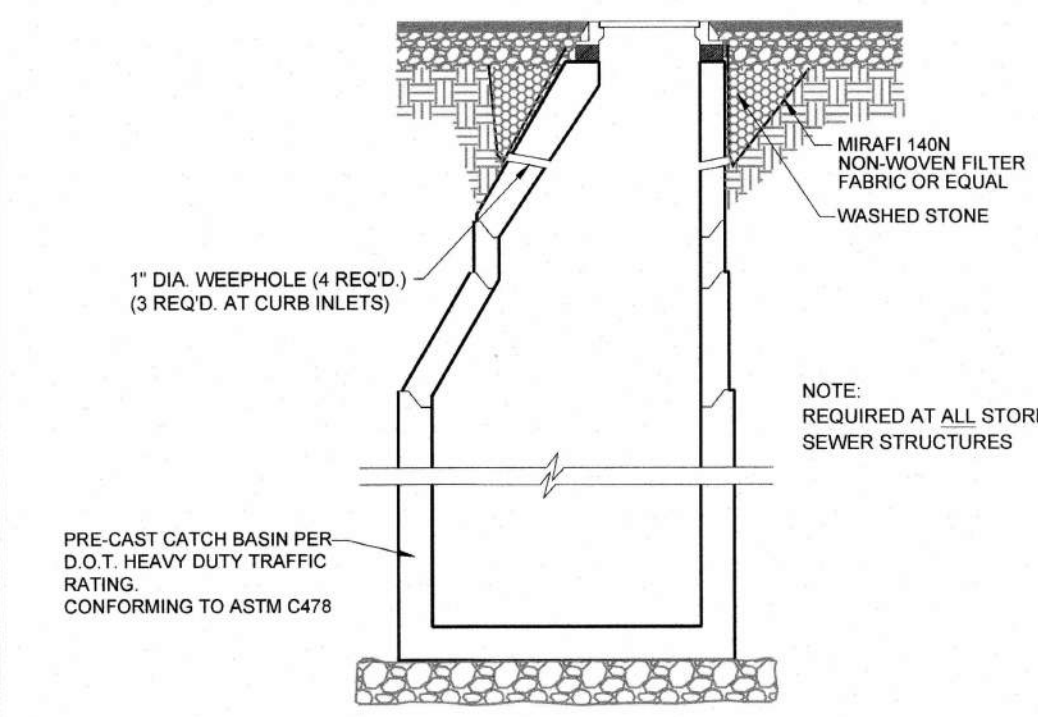
38 BUILDING DOWNSPOUT CONNECTION DETAIL  
NOT TO SCALE

- NOTES:
1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
  2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
  3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITEWORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

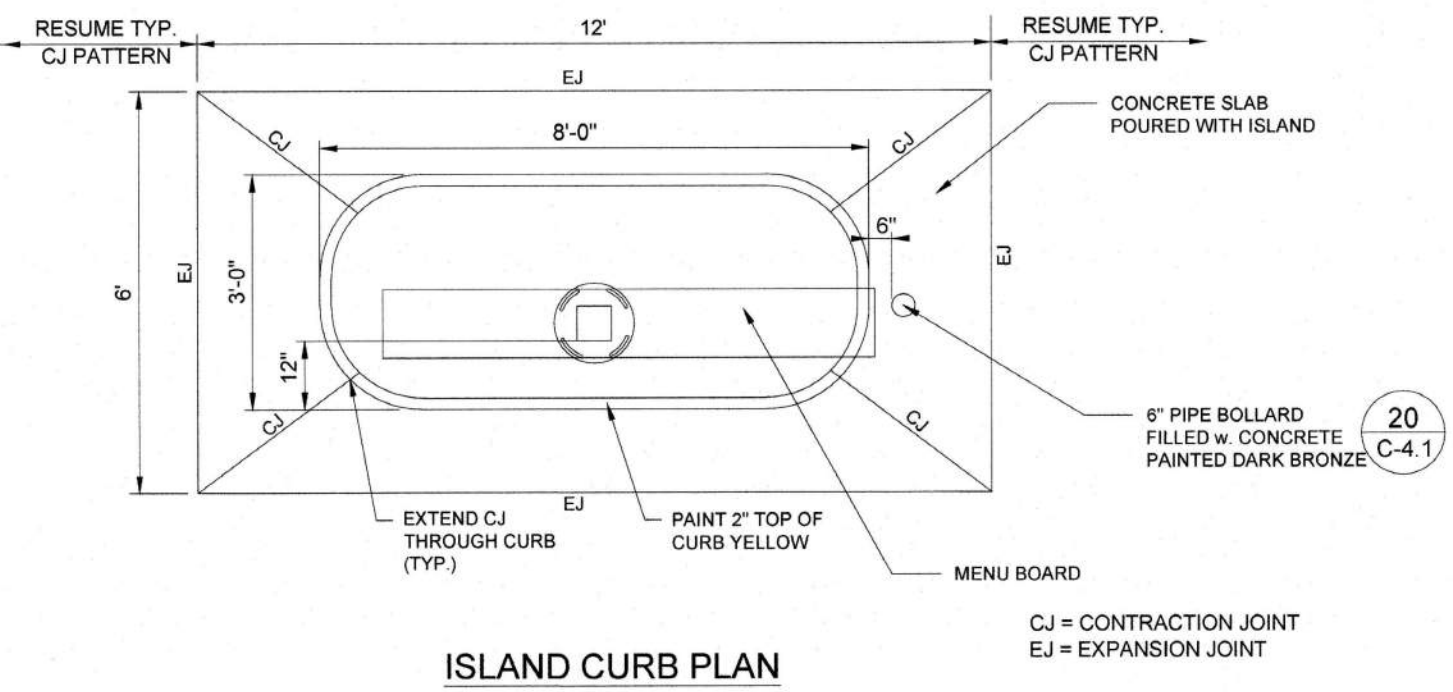


37 SAN. C.O. OUTSIDE BUILDING  
NOT TO SCALE

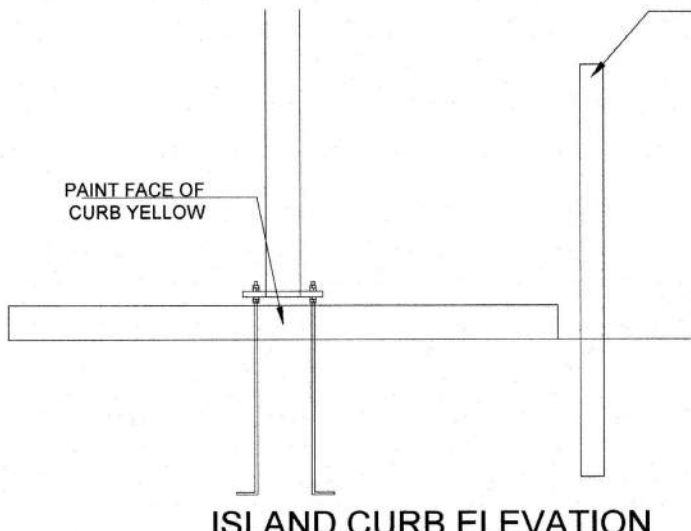
NOTE: SEE PLUMBING PLANS FOR GREASE TRAP DETAIL



40 STORM WEEP HOLE DETAIL  
NOT TO SCALE

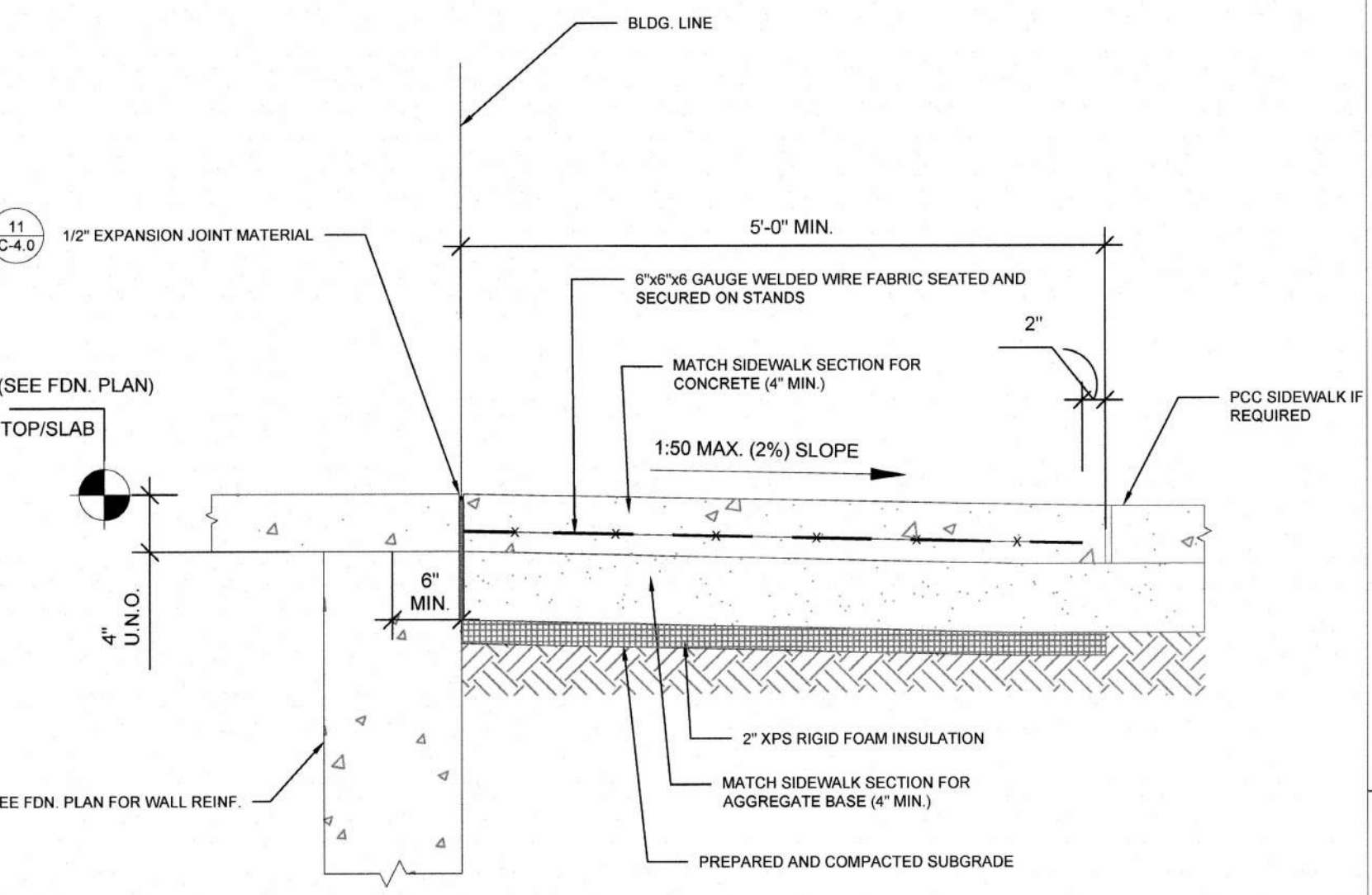


ISLAND CURB PLAN



ISLAND CURB ELEVATION

34 DRIVE THRU ORDER POINT ISLAND CURB  
NOT TO SCALE



36 ENTRY DOOR FROST SLAB DETAIL  
NOT TO SCALE



4

TEMPORARY DELINEATOR

Manufacturer:  
Post Guard/ Encore Commercial Products

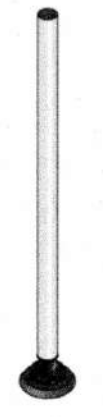
Contact Information:  
Post Guard/ Encore Commercial Products  
Jeff Liebowitz  
1-248-463-9112  
www.postguard.com

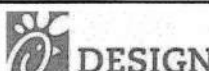
Standard Description:  
Temporary delineator used to direct traffic at Drive-Thru lanes.

Dimensions: 2 1/3" x 48"  
Finish: White with white reflective tape

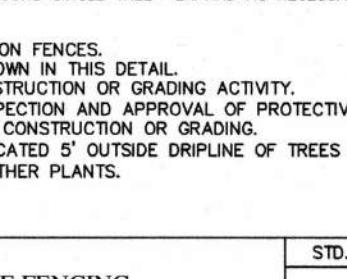
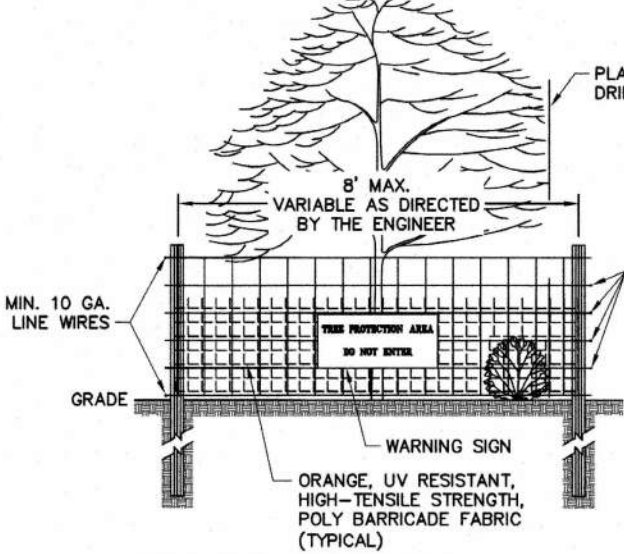
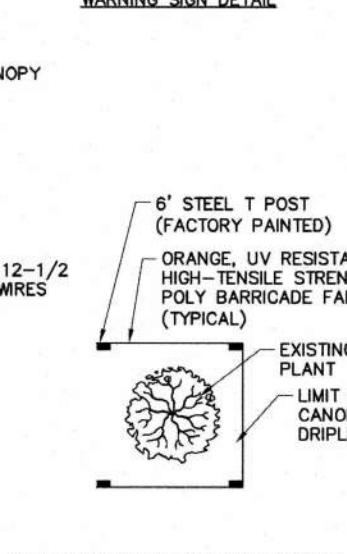
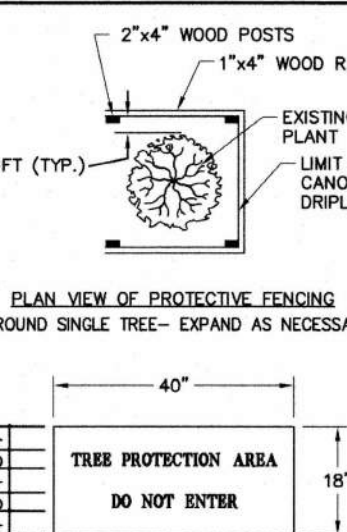
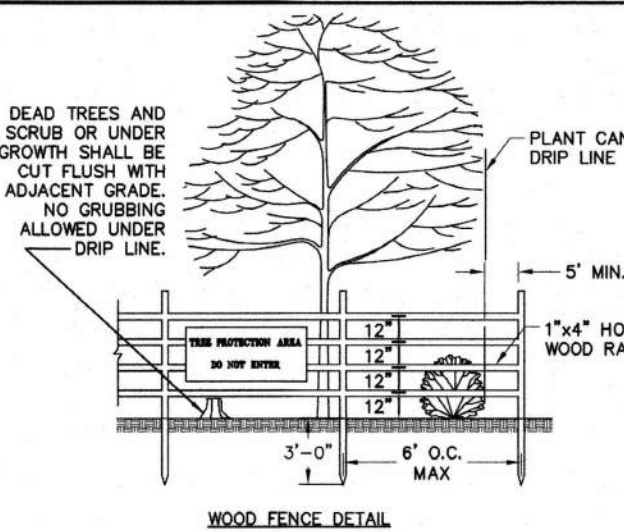
Product Used In:  
Concepts: All  
Prototype: All  
Palette: All

Ordering Information:  
Gorilla Post- 2 1/3" x 48"



	02800	Temporary Delineator	08.20.18
	PST		1/1

3



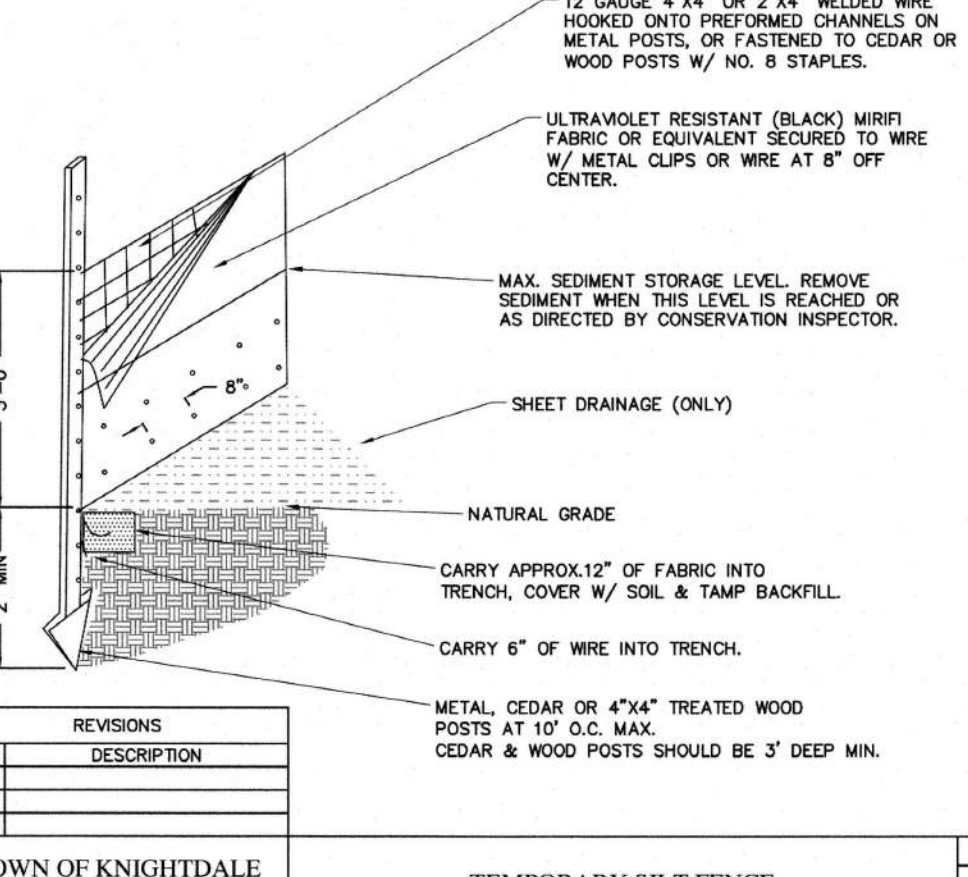
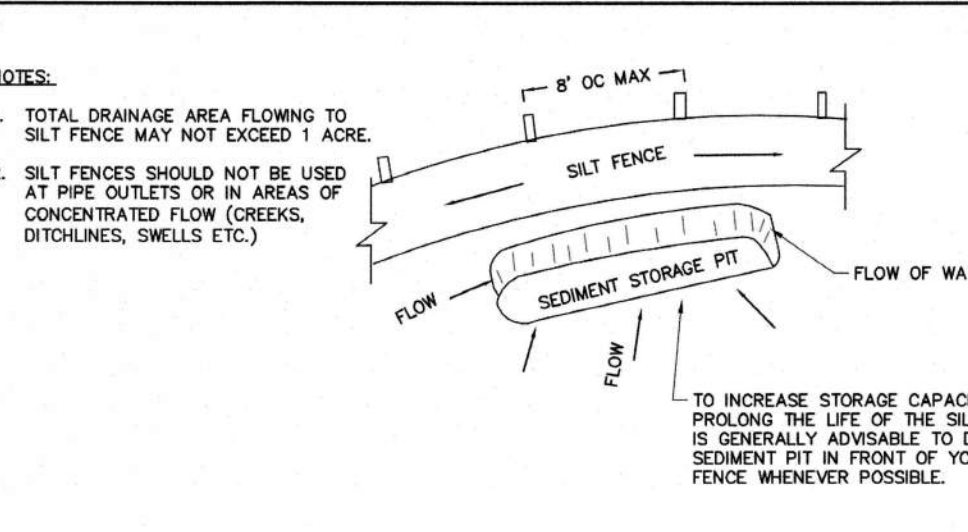
NOTES:  
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.  
2. LANDSCAPING PLANS SHALL SHOW LOCATIONS OF ALL TREE PROTECTION FENCES.  
3. ALL PLANTS TO BE SAVED SHALL BE PROTECTED BY FENCING AS SHOWN IN THIS DETAIL.  
4. CONTRACTOR SHALL INSTALL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING ACTIVITY.  
5. CONTRACTOR SHALL CALL FOR INSPECTION AND APPROVAL OF PROTECTIVE FENCING PRIOR TO BEGINNING ANY CONSTRUCTION OR GRADING.  
6. PROTECTIVE FENCING SHALL BE LOCATED 5' OUTSIDE DRIPLINE OF TREES AND 1' MINIMUM OUTSIDE SHRUBS OR OTHER PLANTS.

REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE  
STANDARD DETAILS

PLANT PROTECTIVE FENCING	STD. NO.
	2.10

2



NOTES:  
1. TOTAL DRAINAGE AREA FLOWING TO SILT FENCE MAY NOT EXCEED 1 ACRE.  
2. SILT FENCES SHOULD NOT BE USED AT PIPE OUTLETS OR IN AREAS OF CONCENTRATED FLOW (CREEKS, DITCHES, SWELLS ETC.)  
3. TO INCREASE STORAGE CAPACITY AND PROLONG THE LIFE OF THE SILT FENCE, IT IS GENERALLY ADVISABLE TO DIG A SEDIMENT PIT IN FRONT OF YOUR SILT FENCE WHENEVER POSSIBLE.  
4. 12 GAUGE 4"x4" OR 2"x4" WELDED WIRE HOOKED ONTO PREFORMED CHANNELS ON METAL POSTS, OR FASTENED TO CEDAR OR WOOD POSTS W/ NO. 8 STAPLES.  
5. ULTRAVIOLET RESISTANT (BLACK) WIRFI FABRIC OR EQUIVALENT SECURED TO WIRE W/ METAL CLIPS OR WIRE AT 6" OFF CENTER.  
6. MAX. SEDIMENT STORAGE LEVEL. REMOVE SEDIMENT WHEN THIS LEVEL IS REACHED OR AS DIRECTED BY CONSERVATION INSPECTOR.  
7. SHEET DRAINAGE (ONLY)  
8. CARRY APPROX. 12" OF FABRIC INTO TRENCH, COVER W/ SOIL & TAMP BACKFILL.  
9. CARRY 6" OF WIRE INTO TRENCH.  
10. METAL, CEDAR OR 4"x4" TREATED WOOD POSTS AT 10' O.C. MAX.  
11. CEDAR & WOOD POSTS SHOULD BE 3' DEEP MIN.

REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE  
STANDARD DETAILS

TEMPORARY SILT FENCE	STD. NO.
	2.03

1

STANDARD 2'-6" CURB AND GUTTER

1'-6" STANDARD CURB AND GUTTER

2'-0" STANDARD CURB & GUTTER

REVISIONS	DATE	DESCRIPTION

TOWN OF KNIGHTDALE  
STANDARD DETAILS

CURB AND GUTTER	1 of 3 STD. NO.
	4.01

WHEEL STOP - STANDARD 6' / DELUXE 6'

Solid Polyethylene Wheel Stop with 3-Piece Rebar Attachment

MANUFACTURER: Plastics-R-Unique, Inc.

CHARACTERISTICS:

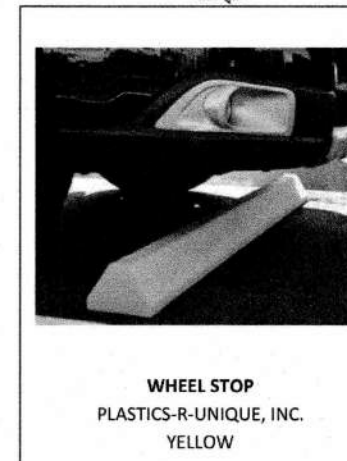
- 3-piece rebar per wheel stop for asphalt and concrete installation
- Standard 6'
  - Size - 72"L x 6"W x 4"H
  - Weight - 32 lbs.
- Deluxe 6'
  - Size - 72"L x 7"W x 4 1/2"H
  - Weight - 36 lbs.

INSTALLATION:

- Use only manufacturer supplied lags and spikes
- Pre-drill holes through parking surfaces - 3/4" bit for lags and 3/8" bit for spikes
- Fill pre-drilled holes with heavy duty construction adhesive by Loctite® PL375®
- Provide (3) 8" lags for concrete pavement or 12" galvanized plated spikes for asphalt pavement required for each wheel stop
- See manufacturer's instructions for installation

COLOR: Yellow

WARRANTY: Lifetime replacement warranty (covers damage/breakage due to normal wear and tear)



WHEEL STOP  
PLASTICS-R-UNIQUE, INC.  
YELLOW

CONTACT INFORMATION:  
ADDRESS: Plastics-R-Unique, Inc.  
352 Mill Street  
Wadsworth, OH 44281  
CONTACT: Bobbie Pettie  
PHONE: 330-334-4820  
FAX: 330-334-4720


ORDERING INFORMATION:  
Standard 6' - Model # 56PBYTRUE  
Deluxe 6' - Model # D6PBY

1/1 | 08.01.17 | 02-700-1-1951

PARKING APPURTENANCE  
WHEEL STOP - STANDARD & DELUXE 6'

always fresh  
FACILITIES MANAGEMENT

Barrier Fence



Heavy Duty High Visibility Orange Barrier Fence

Specifications	
Product Code	SLM4548100
Roll Size	4' x 100'
Roll Weight	18 pounds
Material	High Density Polyethylene
Ultraviolet Resistance	Full Stabilized
Temperature Range	-60 to 180 Degrees Fahrenheit
Tensile Yield	3200 PSI
Ultimate Tensile Strength	2600 PSI
Color	Orange
More colors available upon request	

Distributed by Colonial Construction Materials Inc.  
1071 Merchants Lane Oilville, VA 23129  
Ph. 800-436-6287  
www.colonial-materials.com

CLEARANCE BAR

Manufacturer:  
Uni-Structures, Inc. or Chandler Signs

Contact Information:  
Uni-Structures, Inc.  
Carolyn Ward  
678-974-1759  
cward@unistructures.com

Chandler Signs  
Kristen Hamilton  
210-349-3804  
CF@chandleresigns.com

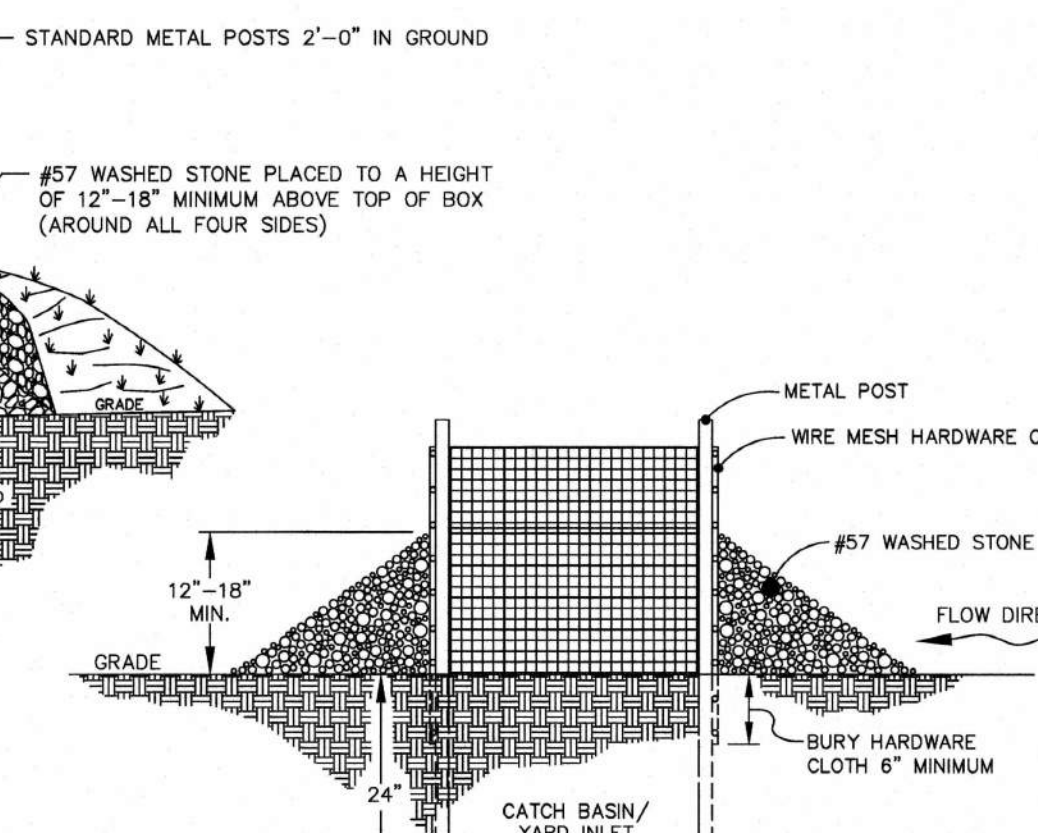
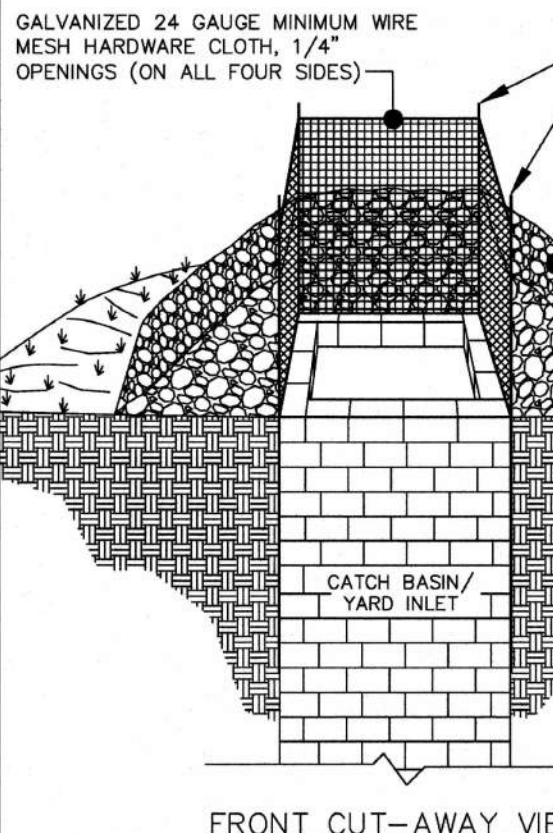
Standard Description:  
Clearance Bar placed in the Drive-Thru Lane ahead of Order Point Canopies to alert drivers to height restriction. The clearance bar should rotate when struck and then return to the original position.  
Refer to Canopy & Site Element Standard for dimensions.  
Color: Dark Bronze

Product Used In:  
Concepts: All  
Prototype: All

Ordering Information:  
Model #  
-C7 Single Clearance Bar  
-C7 Double Clearance Bar

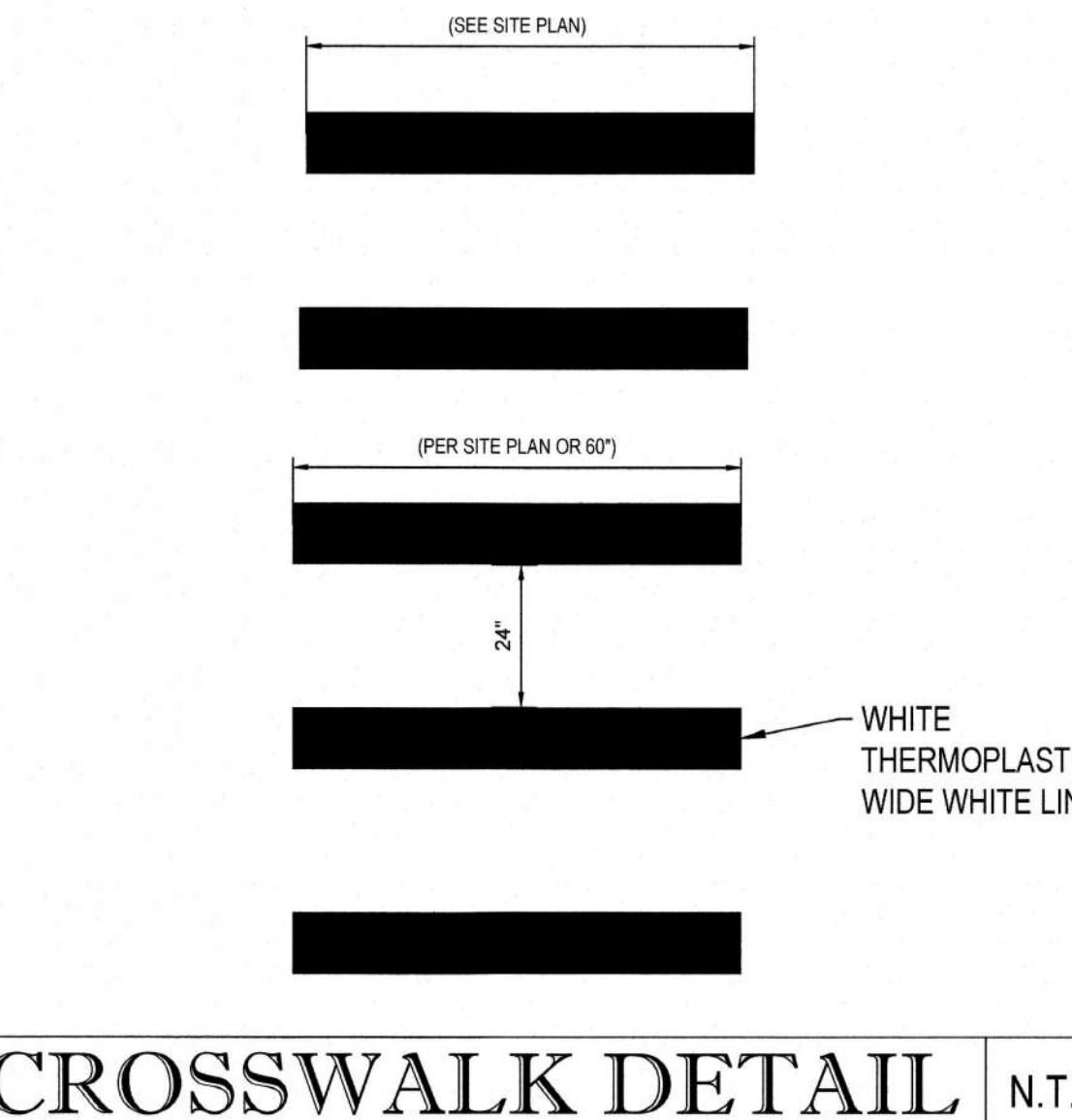
DESIGN	02700	CLEARANCE BAR	04.29.19
	PST		1/1

STANDARD CATCH BASIN/YARD INLET PROTECTION



CROSSWALK DETAIL

N.T.S.



CONSTRUCTION DOCUMENTS

CHICK-FIL-A

KNIGHTDALE BLVD. REMODEL

6711 KNIGHTDALE BLVD.

KNIGHTDALE, NC 27545

FSU#1760

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501  
PRINTED FOR CONSTRUCTION  
DATE 5/18/21  
DRAWN BY RMG

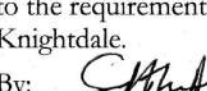
Information contained on this drawing and in all digital files produced for above named project may not be reproduced in any manner without express written or verbal consent from authorized project representatives.  
SHEET  
SITE DETAILS  
SHEET NUMBER

1

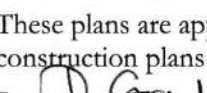
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4

By:  Date: 8/13/2021  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By:  Date: 8/20/2021  
Administrator

Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

811

Know what's below.  
Call before you dig.  
ALWAYS CALL 811  
It's fast. It's free. It's the law.

BOHLER

BOHLER ENGINEERING NC, PLLC  
NCBELD P-1132  
4130 PARKLAKE AVENUE, SUITE 130  
RALEIGH, NC 27612  
Phone: (919) 578-0000  
NC@BohlerEng.com

CHICK-FIL-A

KNIGHTDALE BLVD. REMODEL

6711 KNIGHTDALE BLVD.

KNIGHTDALE, NC 27545

FSU#1760

E

D

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E

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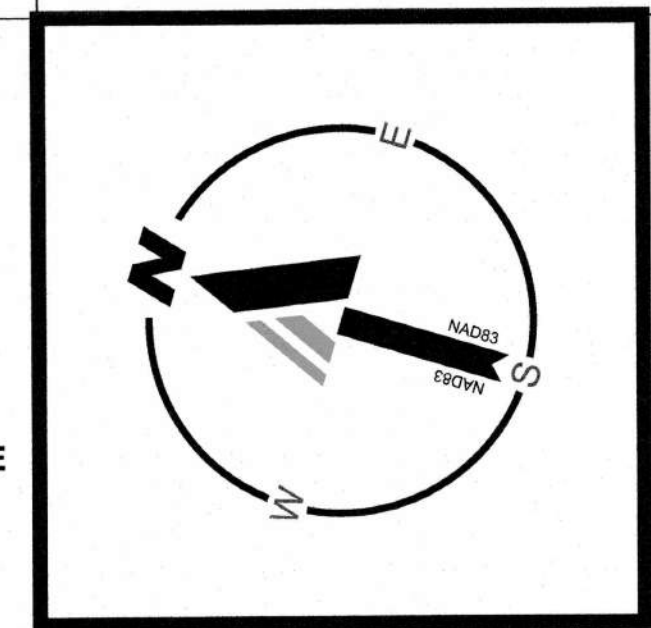
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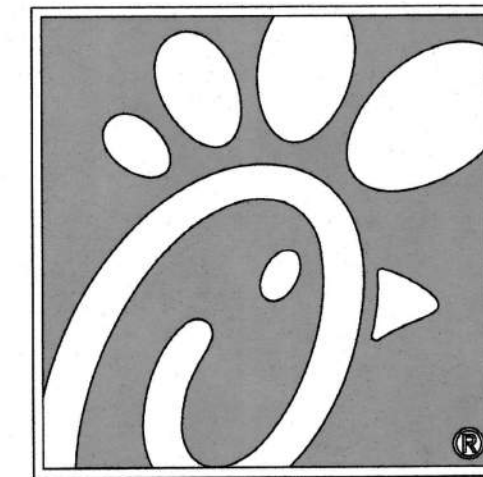
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1

### GRADING LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
120	CONTOUR LINE	120
TC 516.00	SPOT ELEVATIONS	TC 516.00 TC 516.55
STM	STORM LABEL	STM
	STORM SEWER	
	YARD INLET	



Chick-fil-A

Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



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**CHICK-FIL-A**  
KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

**FSU#1760**

CONSTRUCTION DOCUMENTS

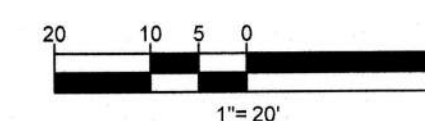
### STORM STRUCTURE SCHEDULE

NAME	TYPE	RIM ELEV. (FT.)	INVERTS
B-21	PROP. STM. CLEANOUT	313.00'	INV IN = 309.06' (4") INV OUT = 308.96' (4")
B-22	PROP. ROOF DRAIN	313.11'	INV OUT = 309.11' (4")
B-41	PROP. NYLONLAST STRUCTURE	308.19'	INV IN = 303.72' (4") INV OUT = 303.62' (4")
B-42	PROP. TRAFFIC RATED STM. CLEANOUT	308.66'	INV IN = 303.97' (4") INV OUT = 303.87' (4")
B-43	PROP. ROOF DRAIN	311.65'	INV IN = 305.12' (4") INV OUT = 305.44' (4")
B-44	PROP. ROOF DRAIN	312.60'	INV OUT = 305.44' (4")
EX-10	EX. CURB INLET	312.12'	INV OUT = 307.81' (15")
EX-20	EX. CURB INLET	312.56'	INV IN = 306.44' (15") INV IN = 308.74' (4") INV OUT = 305.67' (15")
EX-30	EX. CURB INLET	309.67'	INV IN = 305.04' (15") INV OUT = 304.97' (15")
EX-40	PROP. GRATE INLET (NCDOT 840.14)	307.87'	INV IN = 303.50' (4") INV IN = 304.13' (15") INV OUT = 303.21' (18")

### STORM SEWER PIPE SCHEDULE

FROM	TO	FROM INV	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL	EXISTING OR PROPOSED
EX-50	EX-40	302.48'	303.21'	15.91'	4.59%	18"	RCP	EXISTING
EX-40	B-41	303.50'	303.62'	11.75'	1.00%	4"	PVC	PROPOSED
EX-40	EX-30	304.13'	304.97'	75.33'	1.12%	15"	RCP	EXISTING
EX-30	EX-20	305.04'	305.67'	117.72'	0.71%	15"	RCP	EXISTING
EX-20	B-21	308.74'	308.96'	22.75'	1.00%	4"	PVC	PROPOSED
EX-20	EX-10	306.44'	307.81'	156.04'	0.88%	15"	RCP	EXISTING
B-43	B-44	305.12'	305.44'	32.00'	1.00%	4"	PVC	PROPOSED
B-42	B-43	303.97'	305.02'	104.61'	1.00%	4"	PVC	PROPOSED
B-41	B-42	303.72'	303.87'	15.43'	1.00%	4"	PVC	PROPOSED
B-21	B-22	309.06'	309.11'	4.54'	1.00%	4"	PVC	PROPOSED

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: S. Padman Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: B. Sadman Date: 8/20/2021  
Administrator



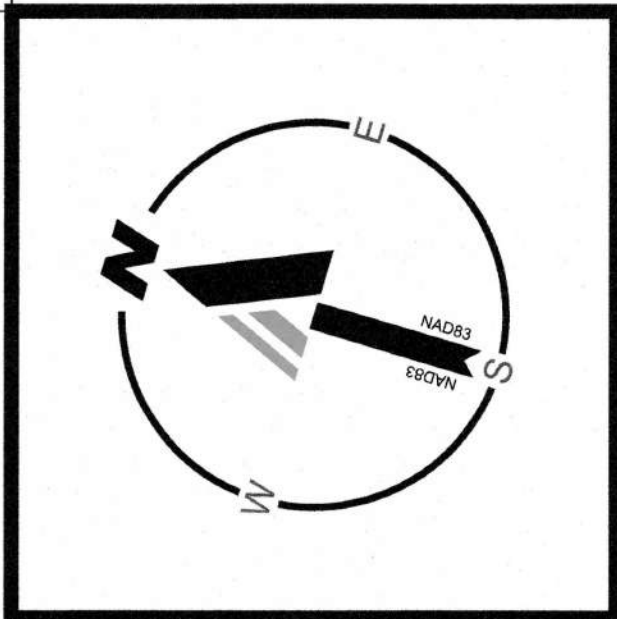
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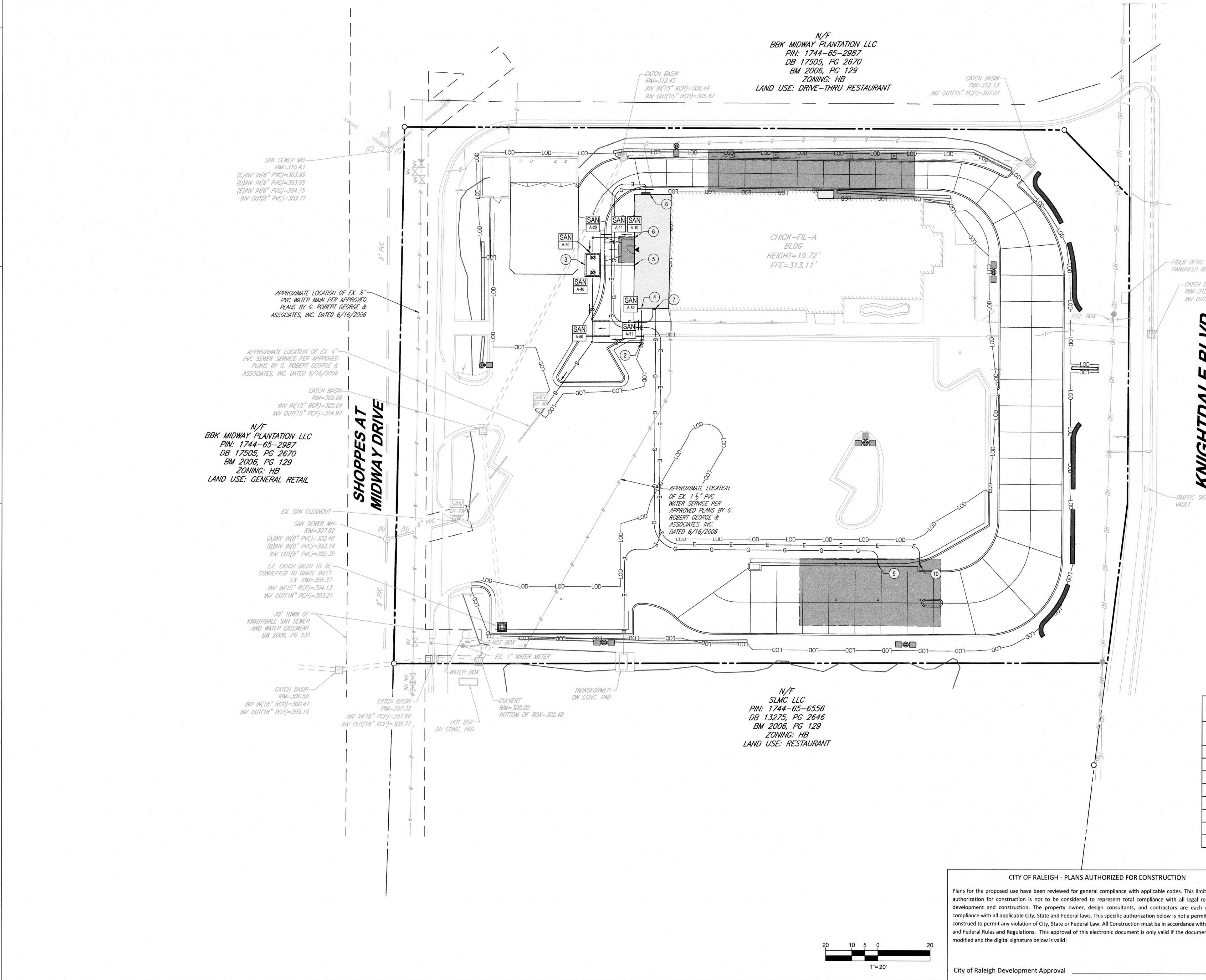
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# CITY OF RALEIGH PUBLIC UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
2. UTILITY SEPARATION REQUIREMENTS:
  - a) A DISTANCE OF 10' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 20' FROM A PRIVATE WELL OR 80' FROM A PUBLIC WELL.
  - b) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
  - c) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
  - d) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
  - e) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS. MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
3. ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
4. ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
5. DEVELOPER SHALL PROVIDE 30 DAYS ADVANCE WRITTEN NOTICE TO OWNER FOR ANY WORK REQUIRED WITHIN AN EXISTING CITY OF RALEIGH UTILITY EASEMENT TRAVERSING PRIVATE PROPERTY.
6. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
7. 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
8. IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
9. INSTALL 1" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
10. INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
11. PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
12. ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
13. NCDOT RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK INCLUDING MAIN EXTENSIONS & SERVICE TAPS WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
14. GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT STEPHEN CALVERLEY AT (919) 996-2334 OR STEPHEN.CALVERLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
15. CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. A CERTIFICATE OF COMPLIANCE SHALL ALSO BE OBTAINED FOR EACH DEVICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.



## UTILITY LEGEND

EXISTING NOTE	TYPICAL NOTE TEXT	PROPOSED NOTE
—W—	UNDERGROUND WATER LINE	—W—
—E—	UNDERGROUND ELECTRIC LINE	—E—
—G—	UNDERGROUND GAS LINE	—G—
—OH—	OVERHEAD WIRE	—OH—
—T—	UNDERGROUND TELEPHONE LINE	—T—
—C—	UNDERGROUND CABLE LINE	—C—
—S—	STORM SEWER	—S—
—S—	SANITARY SEWER MAIN	—S—
—H—	HYDRANT	—H—
—M—	SANITARY MANHOLE	—M—
—V—	WATER METER	—V—
—V—	WATER VALVE	—V—
—I—	CURB INLET	—I—
—O—	CLEAN OUT	—O—

## UTILITY PLAN DESIGN NOTES & KEY PLAN

1. THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER CLEANOUT. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.
2. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY STRUCTURES AND LINES BEFORE THE START OF CONSTRUCTION TO VERIFY SIZE AND DEPTH OF EXISTING UTILITIES ARE ADEQUATE FOR PROPOSED IMPROVEMENTS. CONTRACTOR SHALL CONTACT ENGINEER OF ANY ISSUES THAT ARISE ON SITE.

## CAUTION/WARNING

1. TYPICAL CLEANOUT. ALL CLEANOUTS TO BE TRAFFIC RATED.
2. GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION. GREASE TRAP TO BE A MINIMUM SIZE OF 1,000 GALLONS.
3. 4" SEWER SERVICE LINE AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. SERVICE LINE SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.
4. 3" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR. SEE ARCHITECT PLUMBING PLANS.
5. 4" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.
6. GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECTS PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION.
7. ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONDUIT SHALL BE BURIED A MINIMUM OF 36" BELOW FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRIC SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRIC COMPANY.
8. GAS LINE TO ORDER CANOPY
9. ELEC. LINE TO ORDER CANOPY

SANITARY STRUCTURE SCHEDULE				
NAME	TYPE	RIM ELEV. (FT.)	INVERTS	
A-10	PROP. BLDG. CONNECTION (GREASE WASTE)	313.11'	INV OUT = 309.11' (4')	
A-11	PROP. SAN. CLEANOUT	312.92'	INV IN = 308.63' (4') INV OUT = 308.63' (4')	
A-20	PROP. TRAFFIC RATED SAN. CLEANOUT	312.26'	INV IN = 307.84' (4') INV OUT = 307.63' (4')	
A-30	PROP. GREASE TRAP (IN)	312.14'	INV IN = 307.15' (4')	
A-40	PROP. GREASE TRAP (OUT)	311.96'	INV OUT = 306.66' (4')	
A-50	PROP. SAN. CLEANOUT	312.17'	INV IN = 304.64' (4') INV IN = 304.54' (4') INV OUT = 304.54' (4')	
A-51	PROP. TRAFFIC RATED SAN. CLEANOUT	312.19'	INV IN = 307.79' (4') INV OUT = 306.52' (4')	
A-52	PROP. BLDG. CONNECTION (DOMESTIC WASTE)	313.11'	INV OUT = 309.11' (4')	
EX-60	EX. SAN. CLEANOUT	310.42'	INV IN = 304.20' (4') INV OUT = 304.00' (4')	

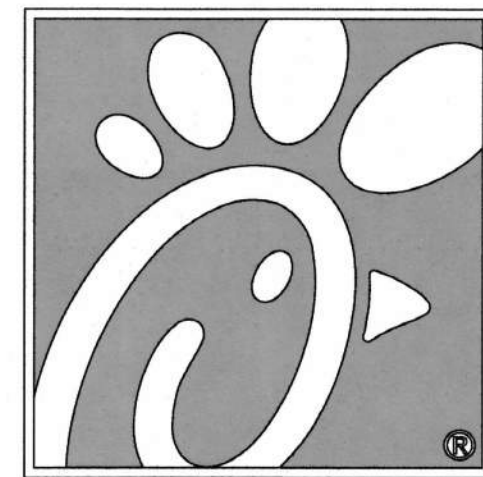
SANITARY PIPE SCHEDULE							
FROM	TO	FROM INV	TO INV	PIPE LENGTH	SLOPE (%)	DIAMETER (IN.)	MATERIAL
EX-70	EX-60	303.48	304.00	52.10'	1.00%	4"	PVC
EX-60	A-50	304.20	304.54	33.80'	1.00%	4"	PVC
A-51	A-52	307.79	309.11	13.20'	10.00%	4"	PVC
A-50	A-51	304.64	306.52	18.82'	10.00%	4"	PVC
A-50	A-40	304.64	306.66	25.12'	8.00%	4"	PVC
A-30	A-20	307.15	307.63	6.00'	8.00%	4"	PVC
A-20	A-11	307.84	308.63	9.82'	8.00%	4"	PVC
A-11	A-10	308.63	309.11	6.00'	8.00%	4"	PVC

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: S. Smith Date: 8/13/2021  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: D. Guman Date: 8/16/2021  
Administrator

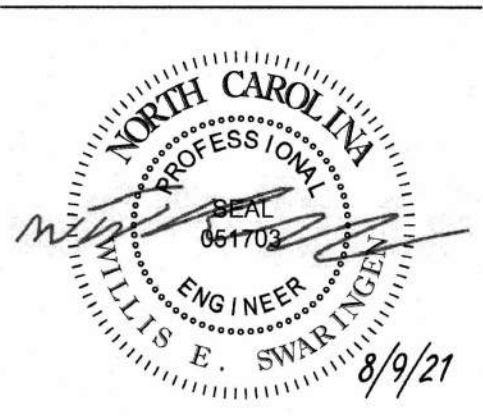


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NC@BohlerEng.com



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KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545

**FSU#1760**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501  
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DATE 5/18/21  
DRAWN BY RMG

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SHEET  
UTILITY PLAN

SHEET NUMBER

**C-6.0**



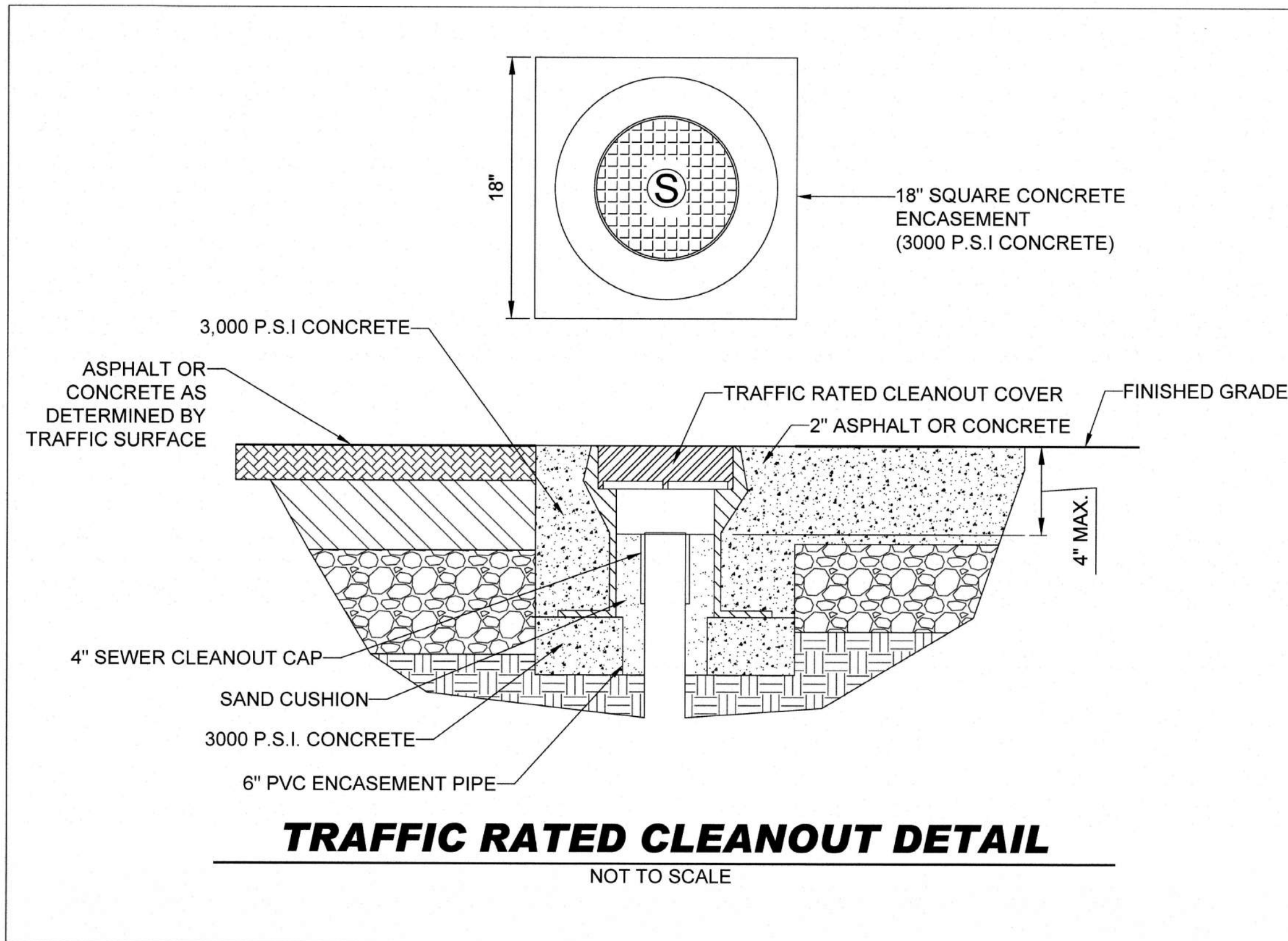
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D

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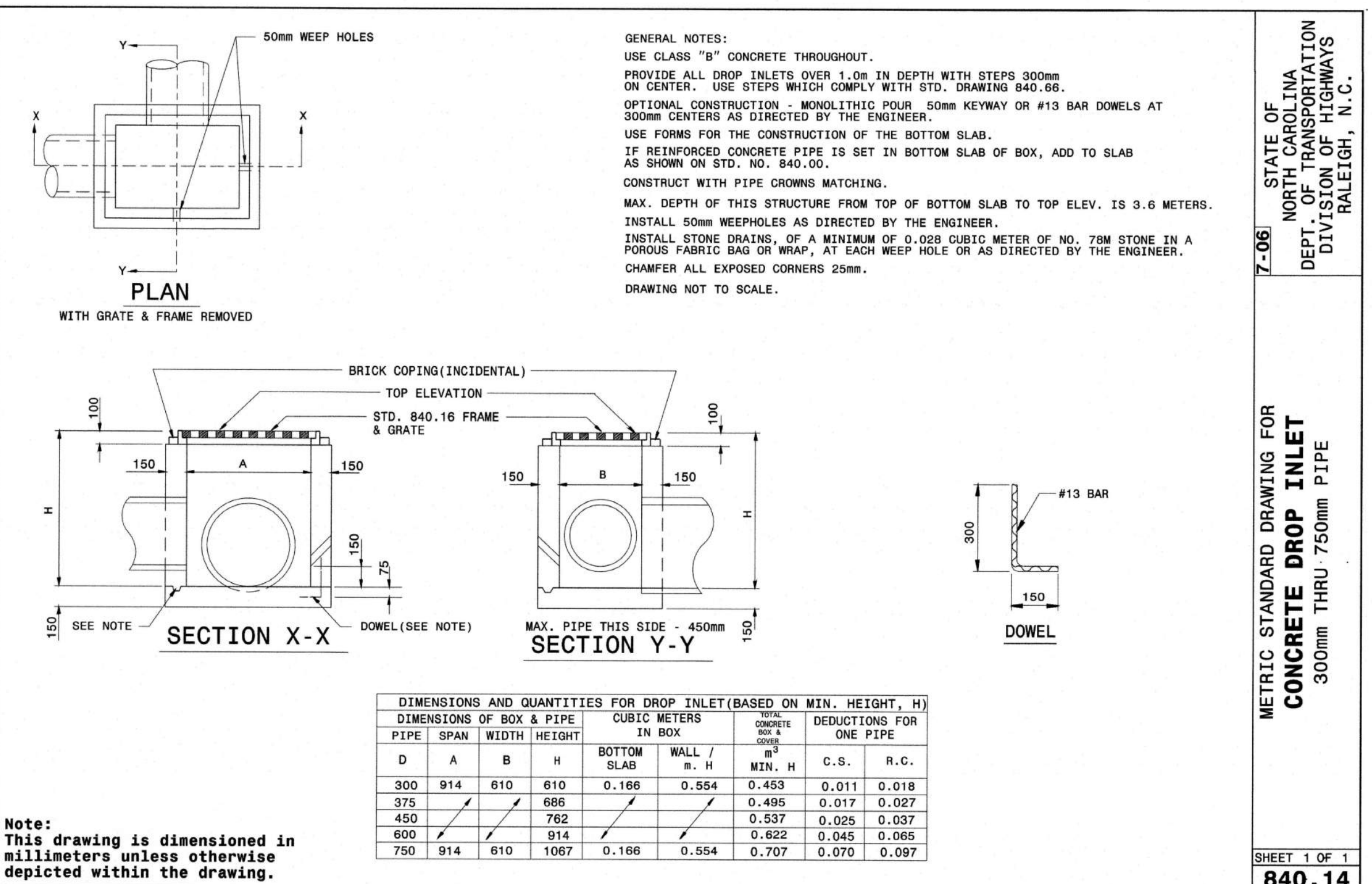


STATE OF NORTH CAROLINA  
DEPT. OF TRANSPORTATION  
DIVISION OF HIGHWAYS  
RALEIGH, N.C.

7-06

METRIC STANDARD DRAWING FOR  
CONCRETE DROP INLET  
300mm THRU 750mm PIPE

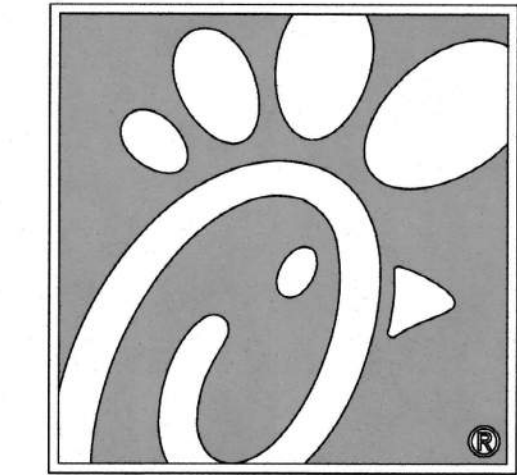
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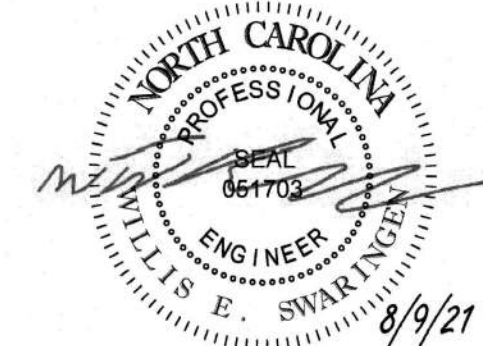
1



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SHEET  
UTILITY DETAILS

SHEET NUMBER

C-6.1





8/9/2

SHEET NUMBER \_\_\_\_\_

H:\2019\NCR191501\DRAWINGS\PLAN SETS\CONSTRUCTION DOCUMENTS\NCR191501 - LSP - 2.DWG PRINTED BY: RGALLAGHER 8.09.21 @ 10:43 AM LAST SAVED BY: RGALLAGHER



**1. SCOPE OF WORK:**  
THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

**2. MATERIALS**  
A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.

C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.  
1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.  
1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE FREE WITH A UNIFORM THICKNESS.  
1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.

D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR BARK MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

E. FERTILIZER  
1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.  
1.2. FOR THE PURPOSE OF BINDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 8% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

F. PLANT MATERIAL  
1.1. ALL PLANTS SHALL, IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.  
1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.  
1.4. TREES WITH ABRASSION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.  
1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.  
1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHALL BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.  
1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.  
1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

**3. GENERAL WORK PROCEDURES**  
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.

B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

**4. SITE PREPARATIONS**  
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.

B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL, ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

**5. TREE PROTECTION**  
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE", OR APPROVED EQUIV. MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

**6. SOIL MODIFICATIONS**  
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.

B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.

C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.  
1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.  
1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL TYPHON. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.  
1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

**7. FINISHED GRADING**  
A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1"-3").

C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

**8. TOPSOILING**  
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.

B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA:  
1.1. 20 POUNDS "GROW POWER" OR APPROVED EQUIV.  
1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

**9. PLANTING**  
A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.

B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.

D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING THE PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.

F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:  
1.1. PLANTS: MARCH 15 TO DECEMBER 15  
1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1

G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.

H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:  
ACER RUBRUM  
BETULA VARIETIES  
CARPINUS VARIETIES  
CRATAEGUS VARIETIES  
KOELREUTERIA  
LIQUIDAMBER STYRACIFLUA  
LIRIODENDRON TULIPIFERA  
PLATANUS X ACERIFOLIA  
POPULUS VARIETIES  
PRUNUS VARIETIES  
PYRUS VARIETIES  
QUERCUS VARIETIES  
TILIA TOMENTOSA  
ZELKOVA VARIETIES

I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:  
1 PART PEAT MOSS  
1 PART COMPOSTED COW MANURE BY VOLUME  
3 PARTS TOPSOIL BY VOLUME  
21 GRAINS AGRIFORM PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:  
A) 2 TABLETS PER 1 GALLON PLANT  
B) 3 TABLETS PER 5 GALLON PLANT  
C) 4 TABLETS PER 15 GALLON PLANT  
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK

J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.

K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.

L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.

M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.

N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.

O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

**10. TRANSPLANTING (WHEN REQUIRED)**  
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.

D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.

E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

**11. WATERING**  
A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

**12. GUARANTEE**  
A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

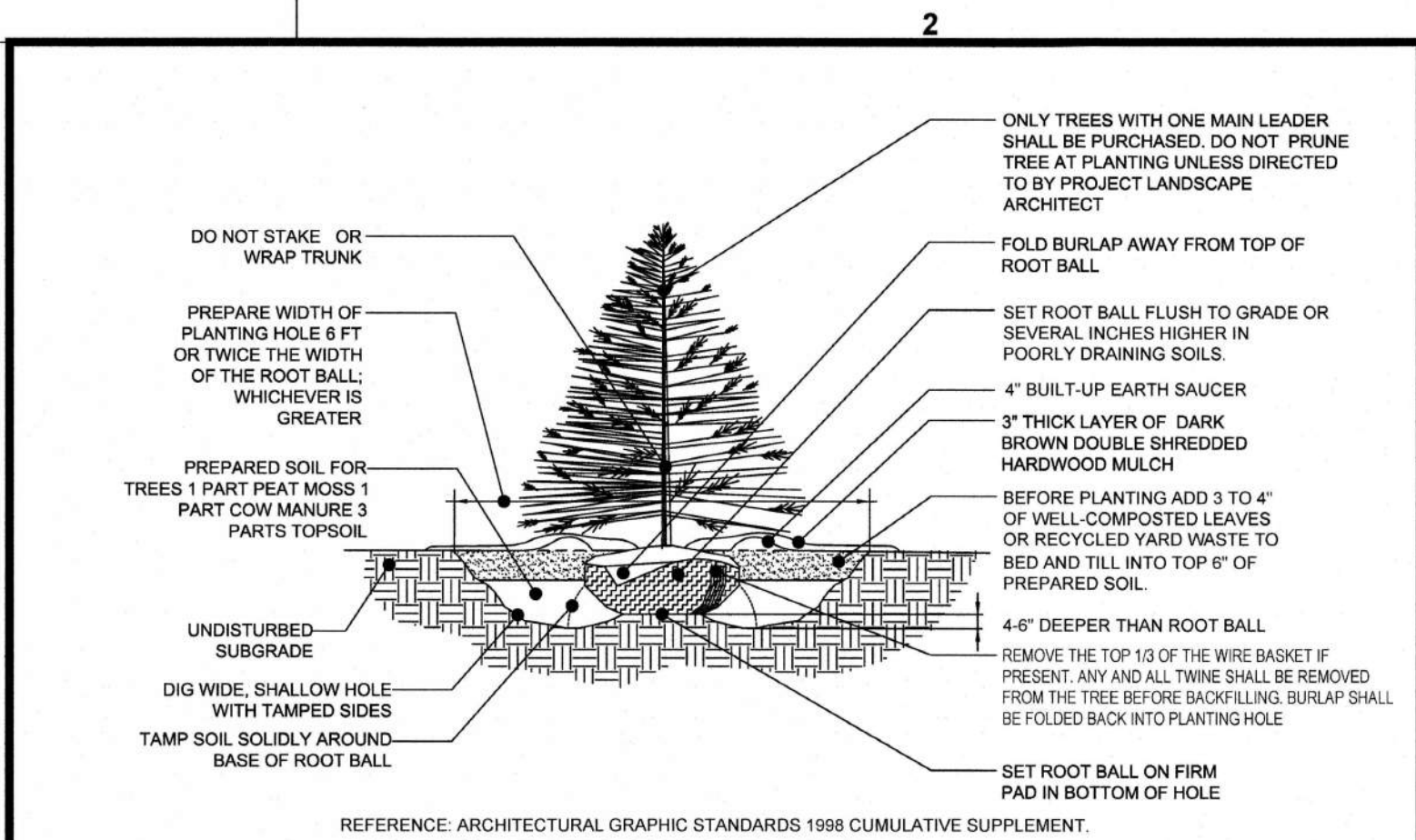
B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.

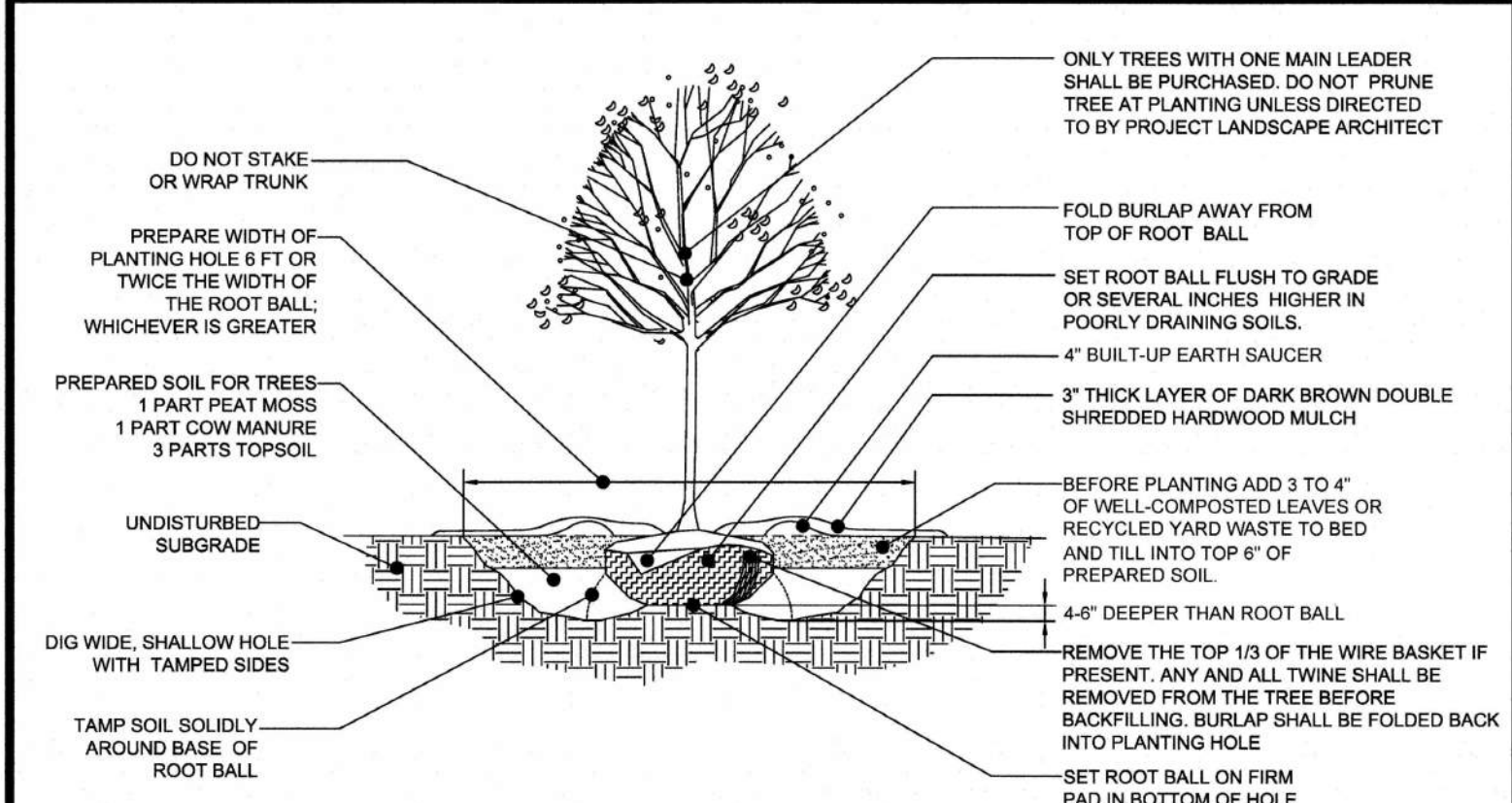
D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.

**13. CLEANUP**  
A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.

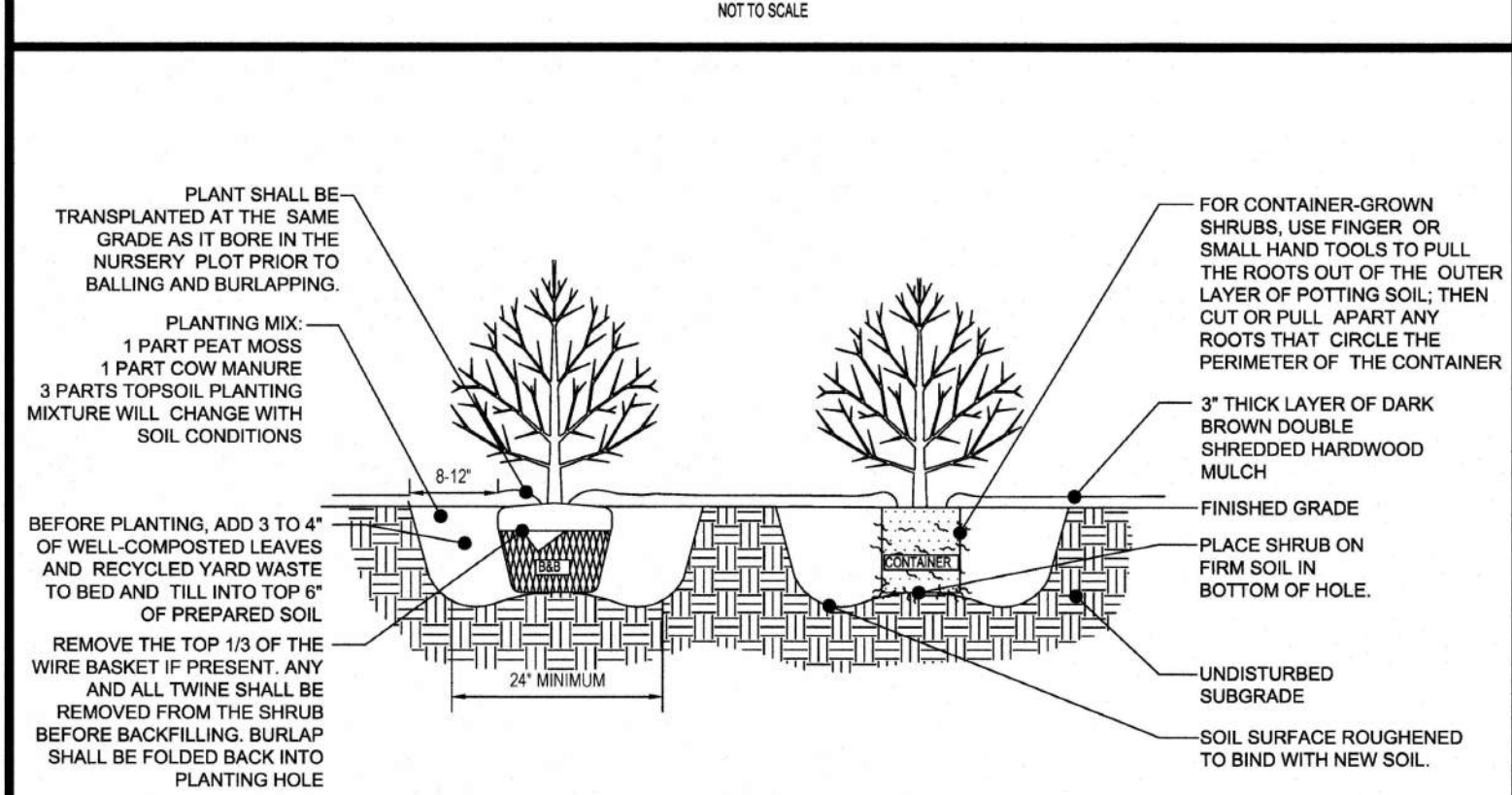
B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



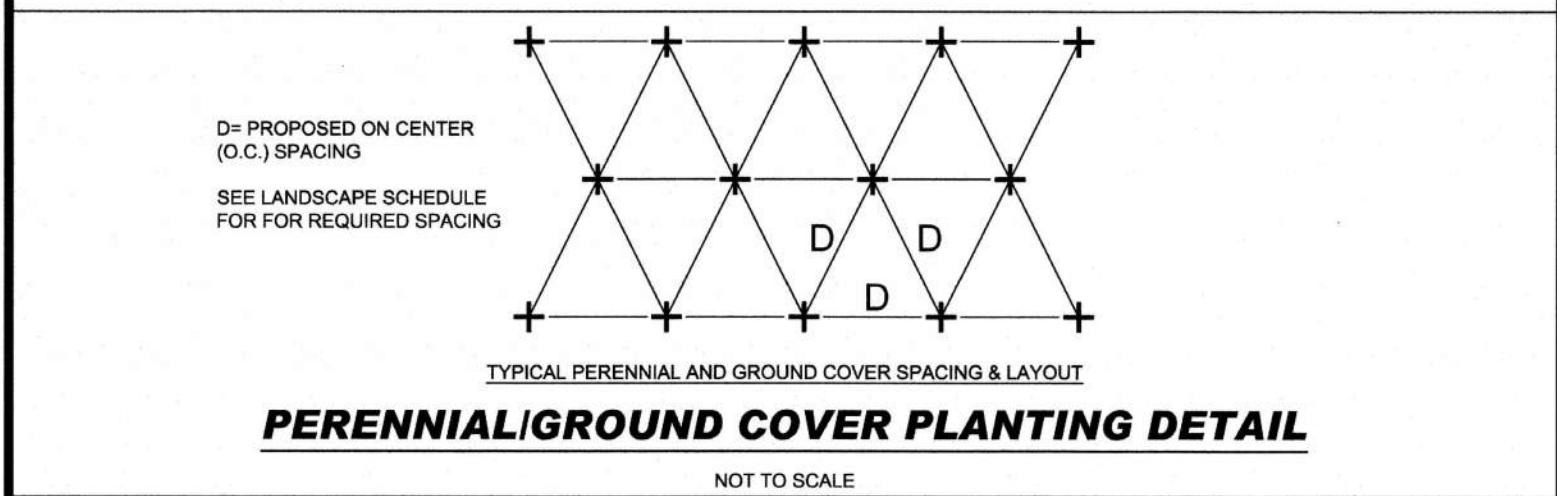
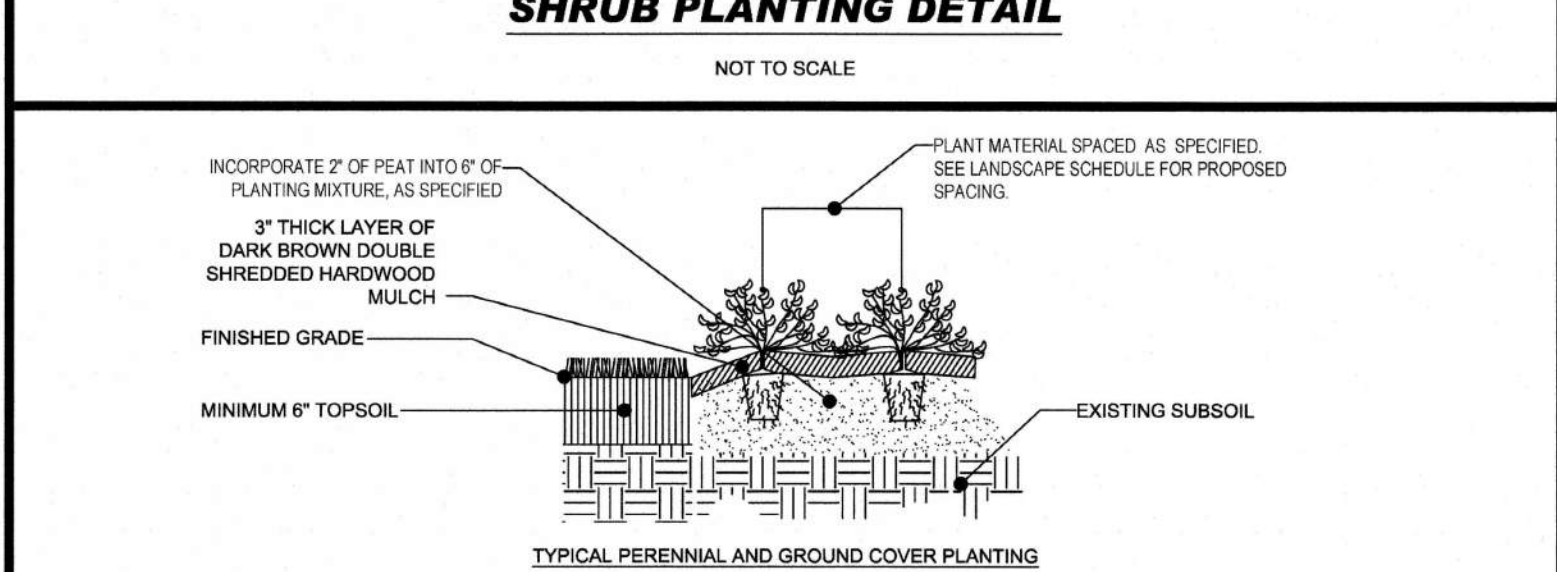
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**EVERGREEN TREE PLANTING DETAIL**  
NOT TO SCALE



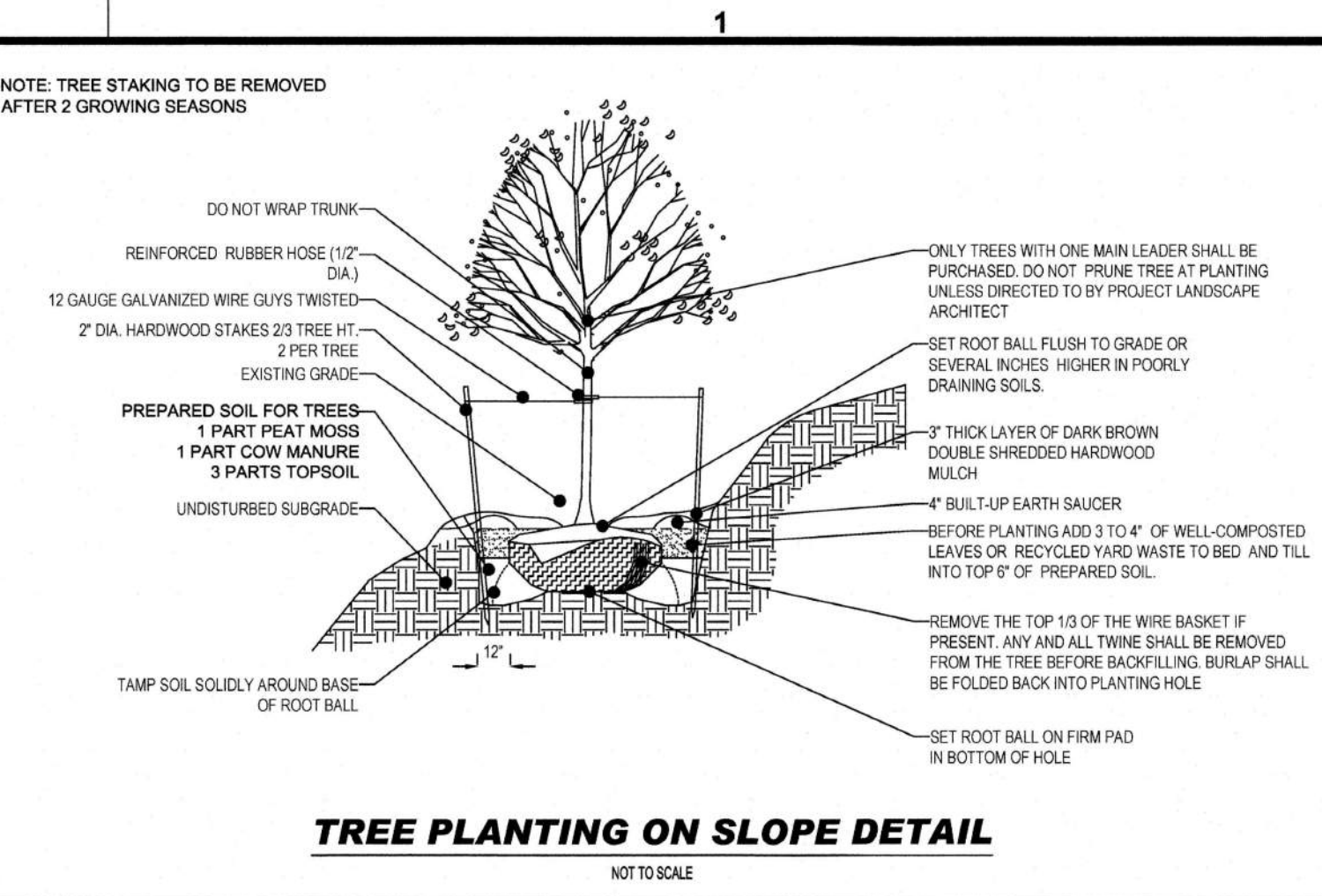
REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE



REFERENCE: ARCHITECTURAL GRAPHIC STANDARDS 1998 CUMULATIVE SUPPLEMENT.  
**DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL**  
NOT TO SCALE



**PERENNIAL/GROUND COVER PLANTING DETAIL**  
NOT TO SCALE



**TREE PLANTING ON SLOPE DETAIL**  
NOT TO SCALE

**OWNER MAINTENANCE RESPONSIBILITIES**

UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPKEEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

• TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.

• TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.

• VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.

• FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

**CONSTRUCTION DOCUMENTS**

**CHICK-FIL-A**  
KNIGHTDALE BLVD. REMODEL  
6711 KNIGHTDALE BLVD.  
KNIGHTDALE, NC 27545  
FSU#1760

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
1	6-15-2021	TOWN OF KNIGHTDALE COMMENTS
2	7-12-2021	TOWN OF KNIGHTDALE COMMENTS
4	8-9-2021	SIGNATURE SET

CONSULTANT PROJECT # NCR191501  
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SHEET LANDSCAPE DETAILS  
SHEET NUMBER

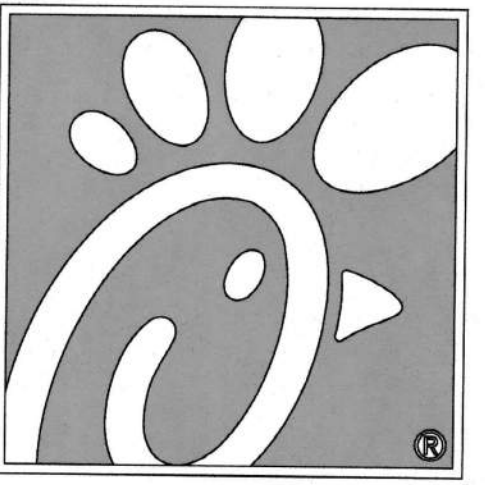
**C-7.1**

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: Sally M. [Signature] Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: D. Stadman [Signature] Date: 8/10/2021  
Administrator









**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349-2998



**BOHLER**  
BOHLER ENGINEERING NC, PLLC  
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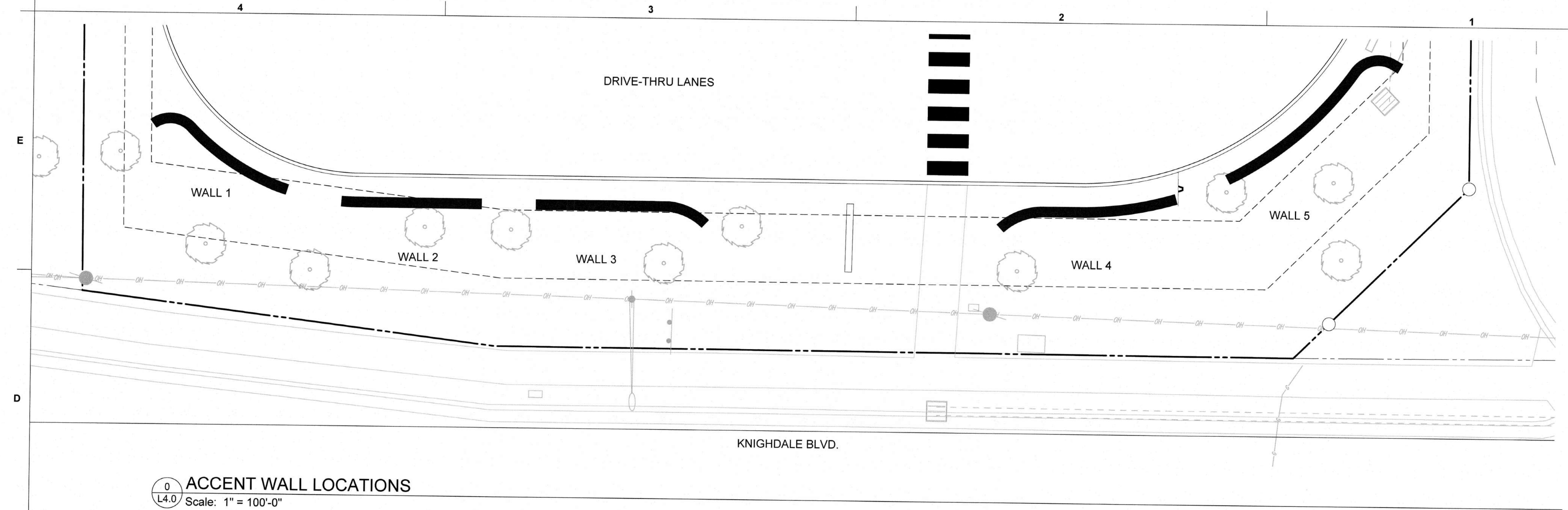
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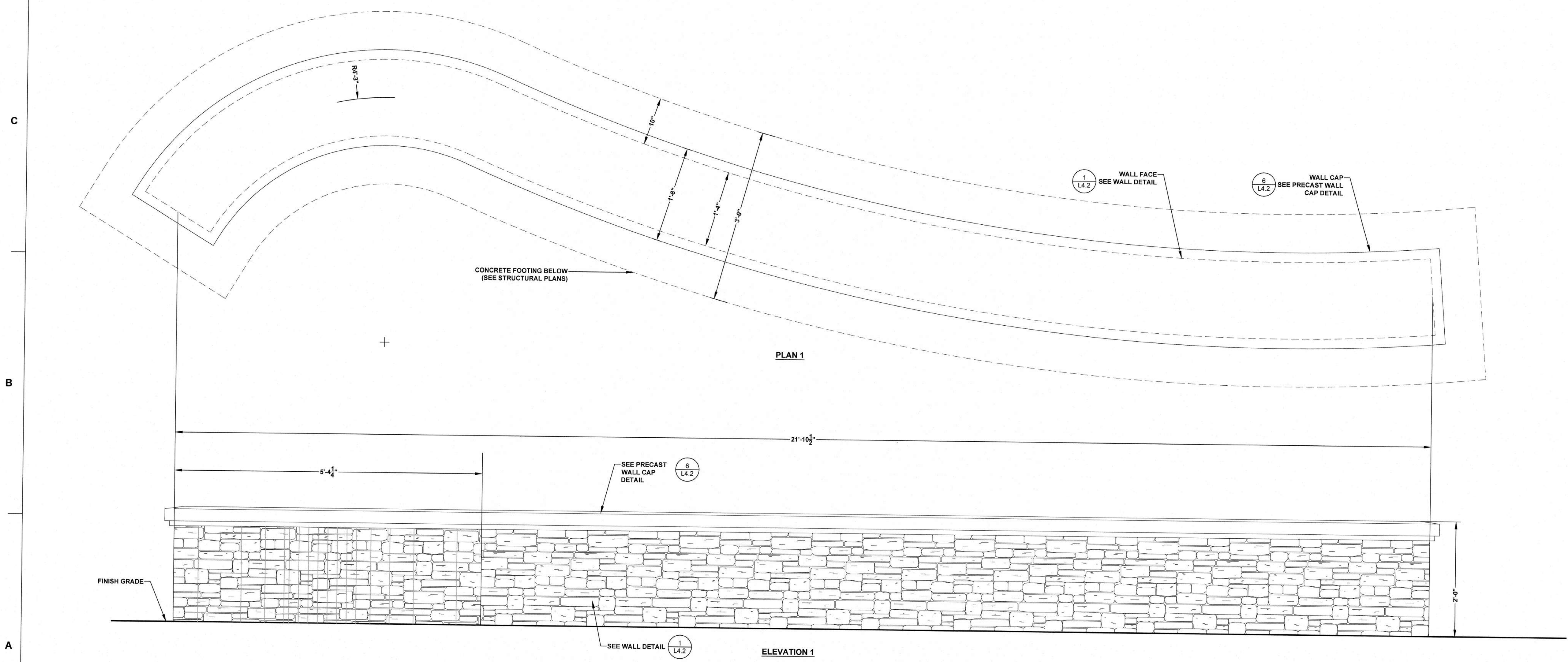
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SHEET ACCENT WALL DETAILS I

SHEET NUMBER  
**L-1.0**



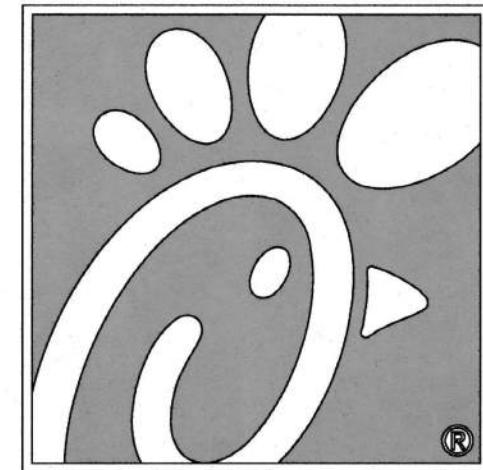
0 ACCENT WALL LOCATIONS  
Scale: 1" = 100'-0"



1 ACCENT WALL PLAN AND ELEVATION - WALL 1  
Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: [Signature] Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: [Signature] Date: 8/20/2021  
Administrator





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KNIGHTDALE, NC 27545

**FSU#1760**

REVISION SCHEDULE		
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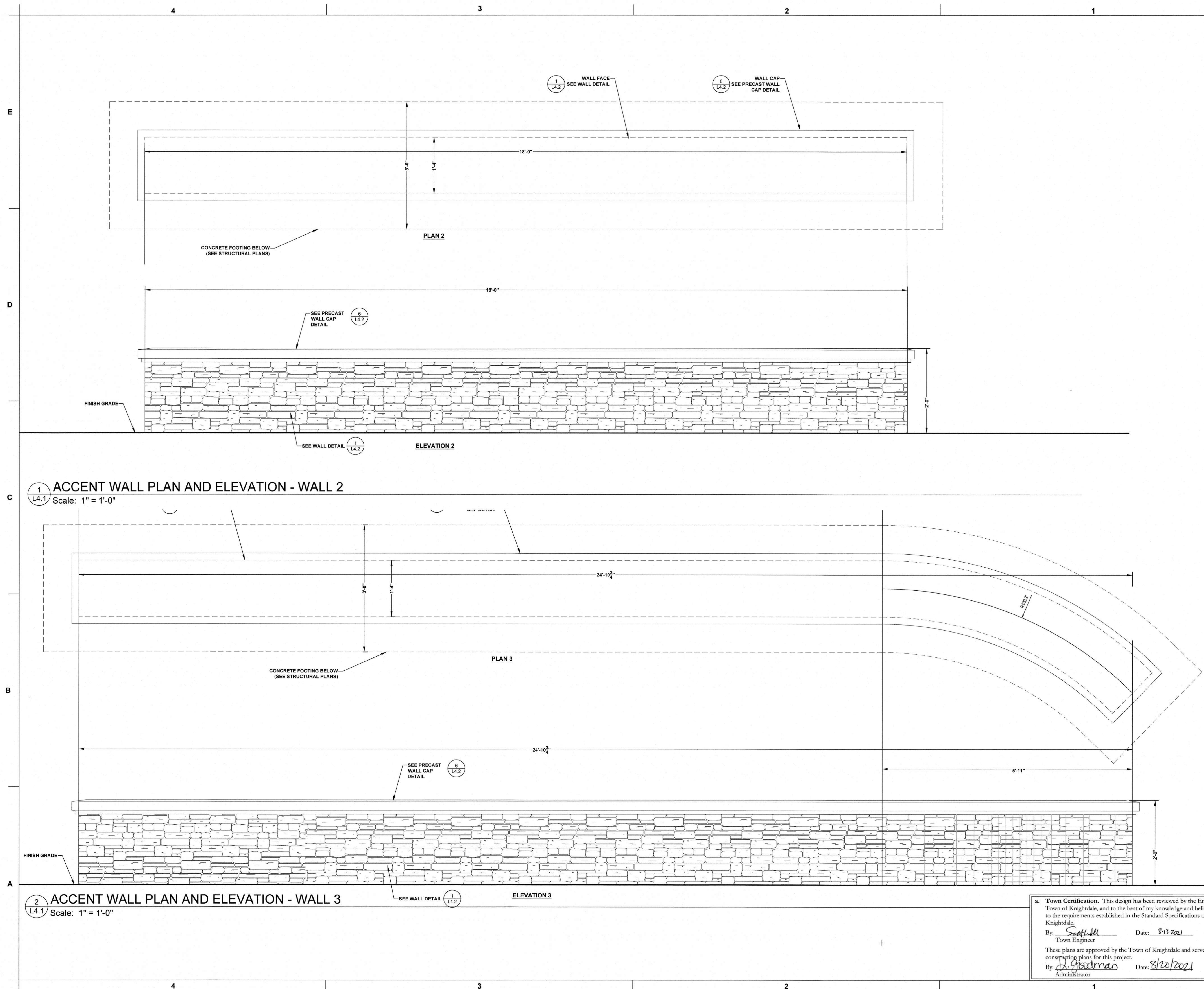
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SHEET  
ACCENT WALL DETAILS II

SHEET NUMBER

**L-1.1**



**1** ACCENT WALL PLAN AND ELEVATION - WALL 2  
Scale: 1" = 1'-0"

**2** ACCENT WALL PLAN AND ELEVATION - WALL 3  
Scale: 1" = 1'-0"





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Atlanta, Georgia 30349-2998



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**FSU#1760**

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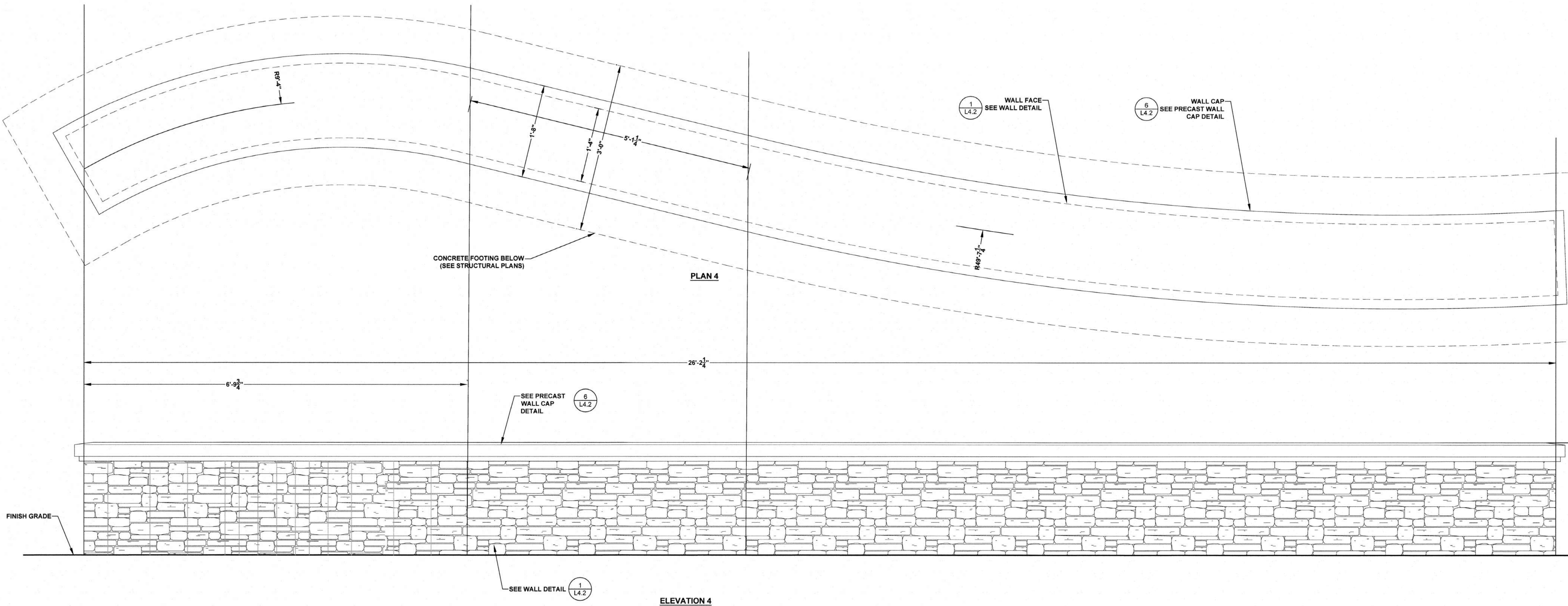
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SHEET  
ACCENT WALL DETAILS III

SHEET NUMBER

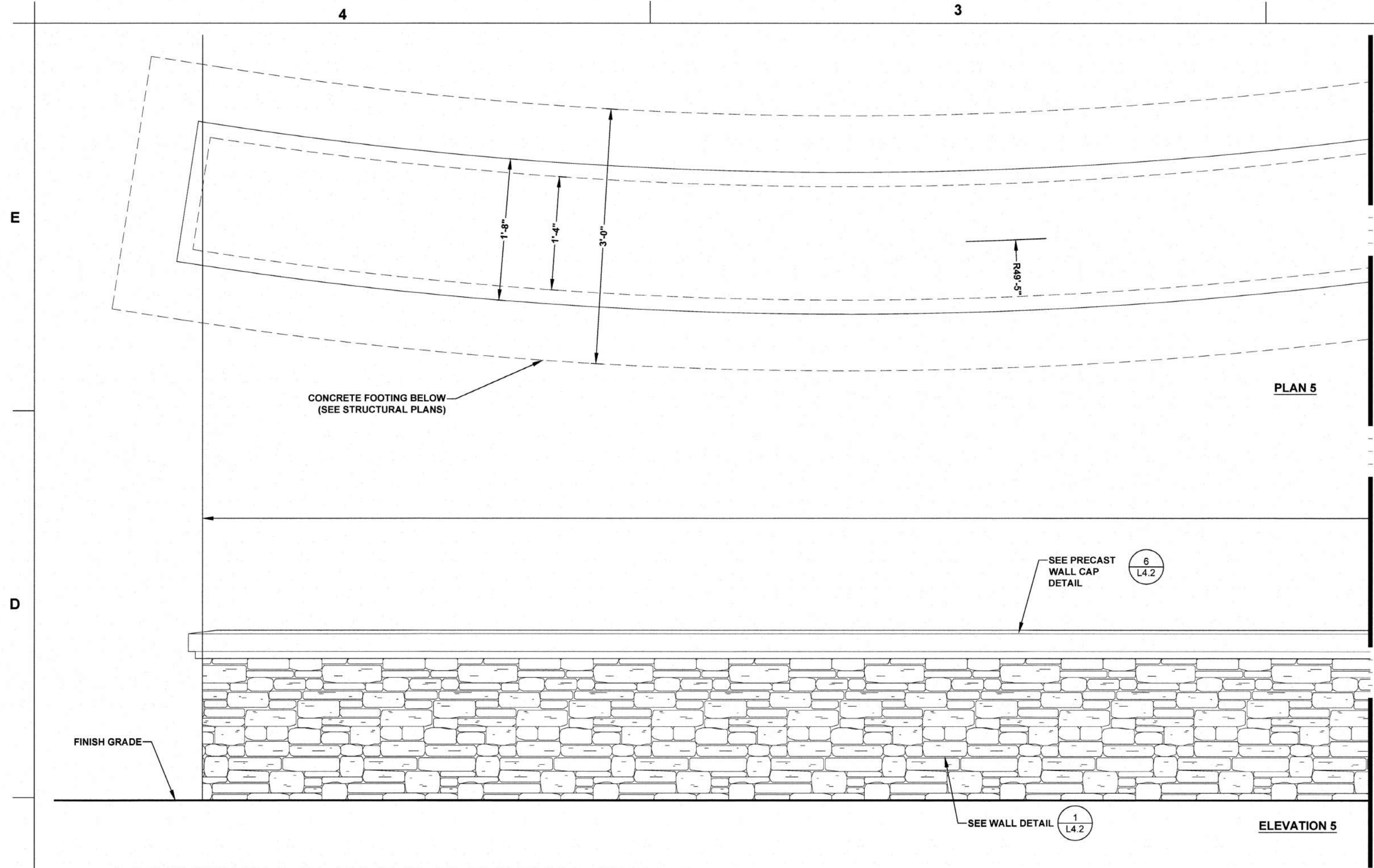
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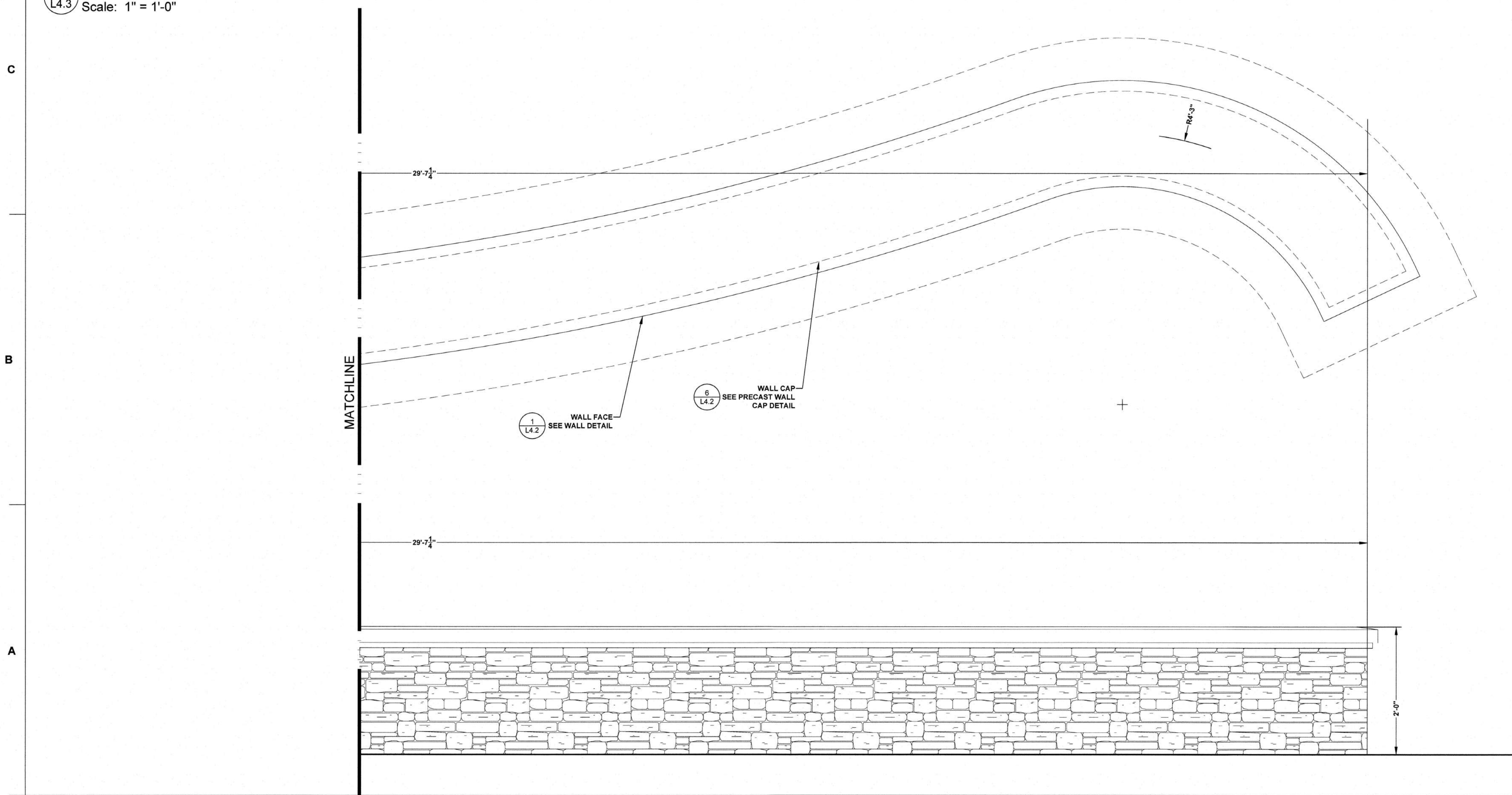
2 ACCENT WALL PLAN AND ELEVATION - WALL 4  
L4.2 Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: SACMU Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: B. Goodman Date: 8/20/2021  
Administrator

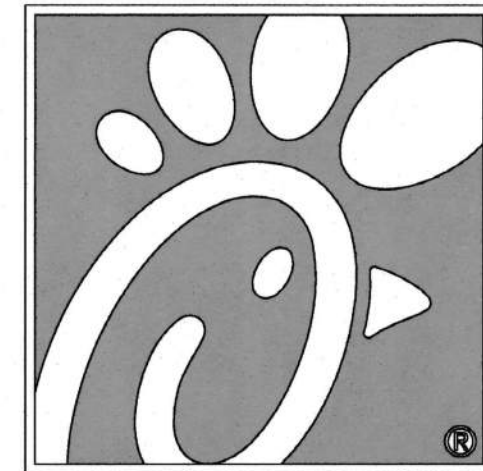




1 ACCENT WALL PLAN AND ELEVATION - WALL 5  
L4.3 Scale: 1" = 1'-0"



a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: S. Sullivan Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: D. Giddens Date: 8/20/2021  
Administrator



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Atlanta, Georgia 30349-2998



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CONSTRUCTION DOCUMENTS

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4	8-9-2021	SIGNATURE SET

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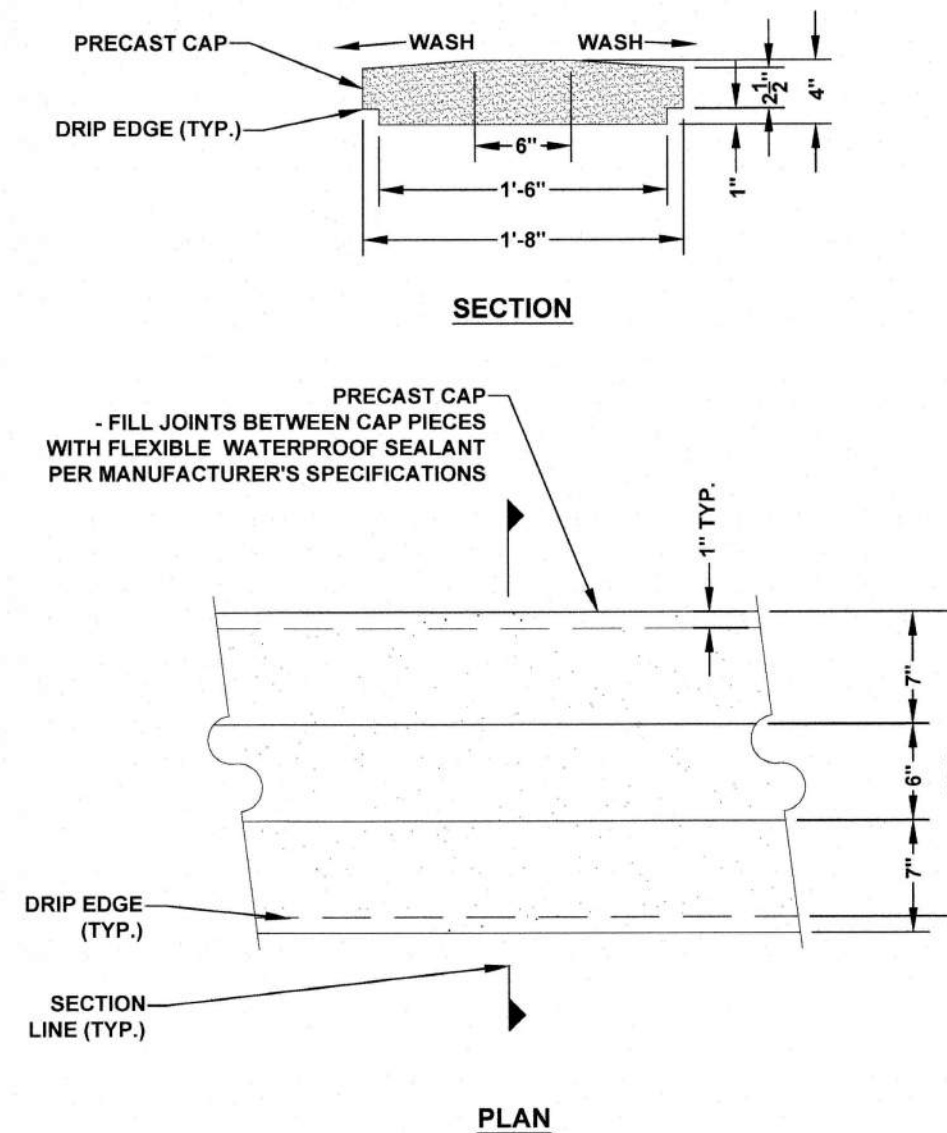
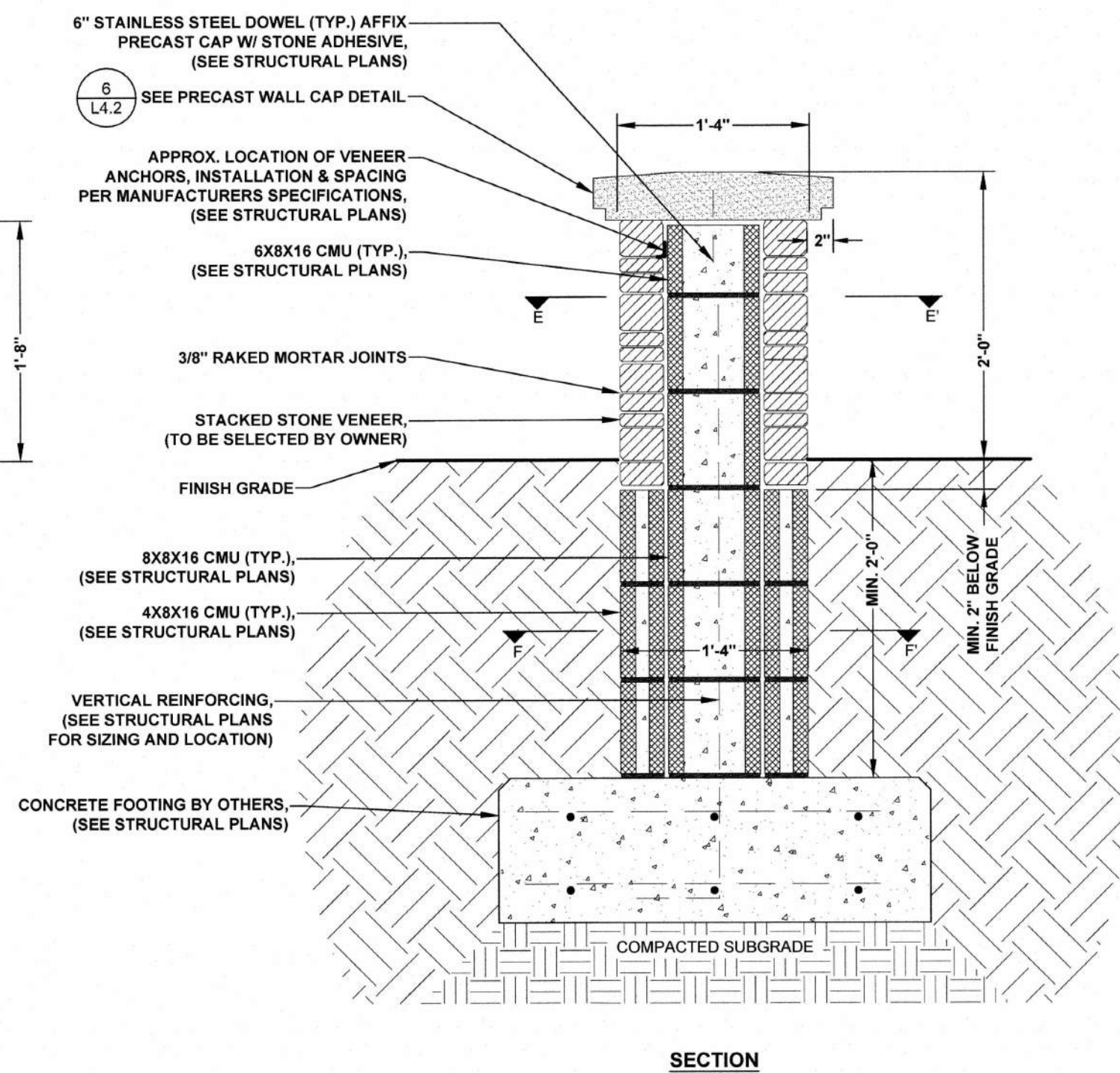
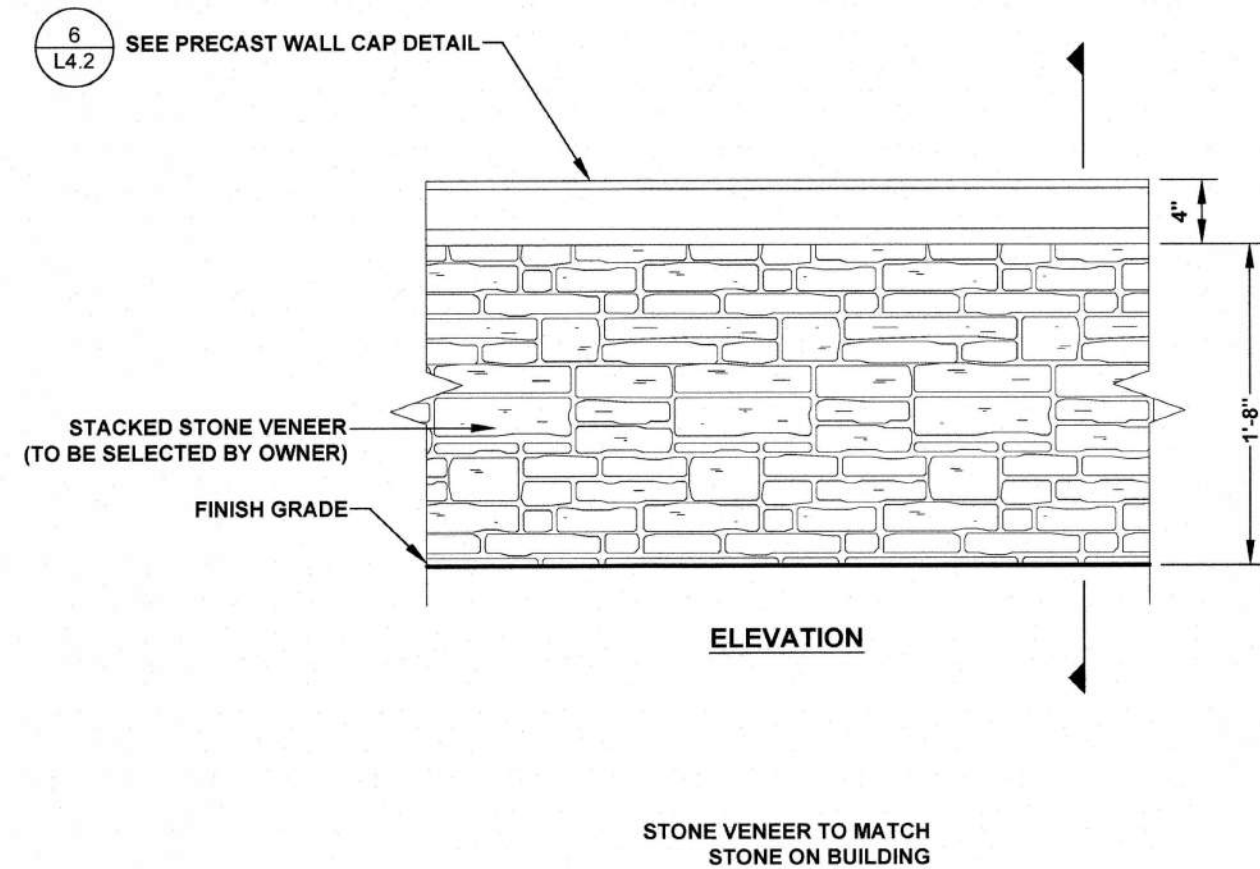
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SHEET  
ACCENT WALL DETAILS IV

SHEET NUMBER

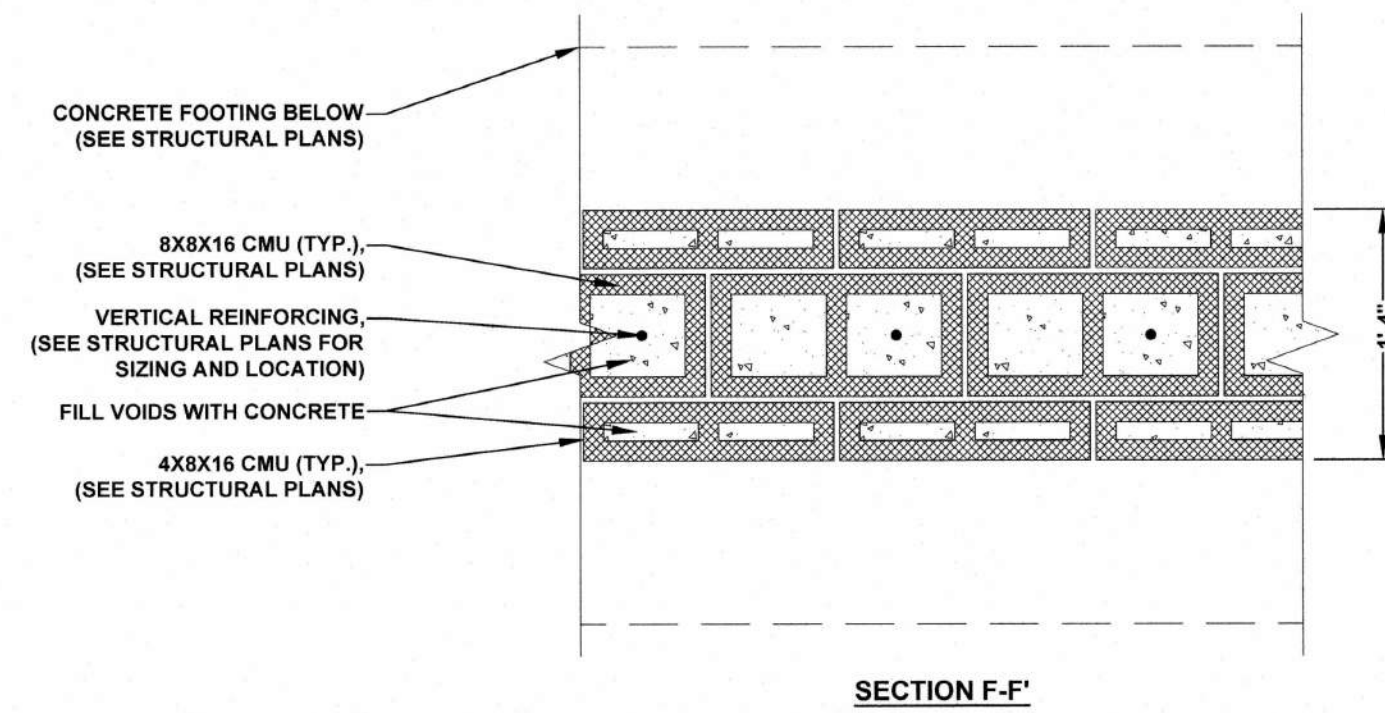
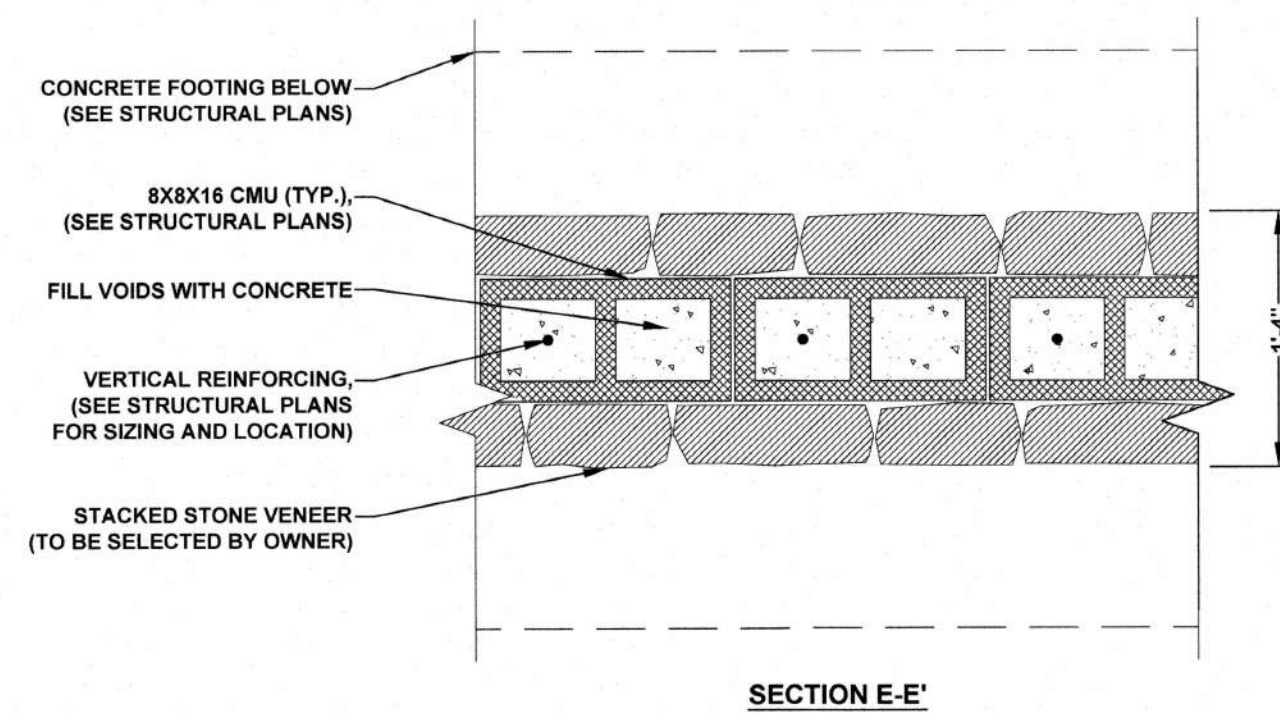
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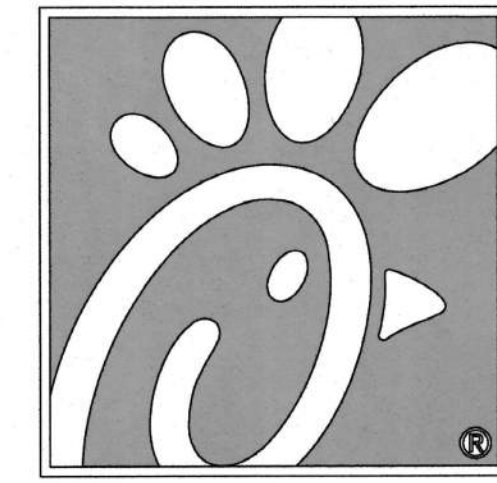
1 WALL DETAIL  
Scale: 1" = 1'-0"

3 PRECAST WALL CAP DETAIL  
Scale: 1" = 1'-0"



2 - WALL CMU SECTIONS  
Scale: 1" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: [Signature] Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: [Signature] Date: 8/10/2021  
Administrator



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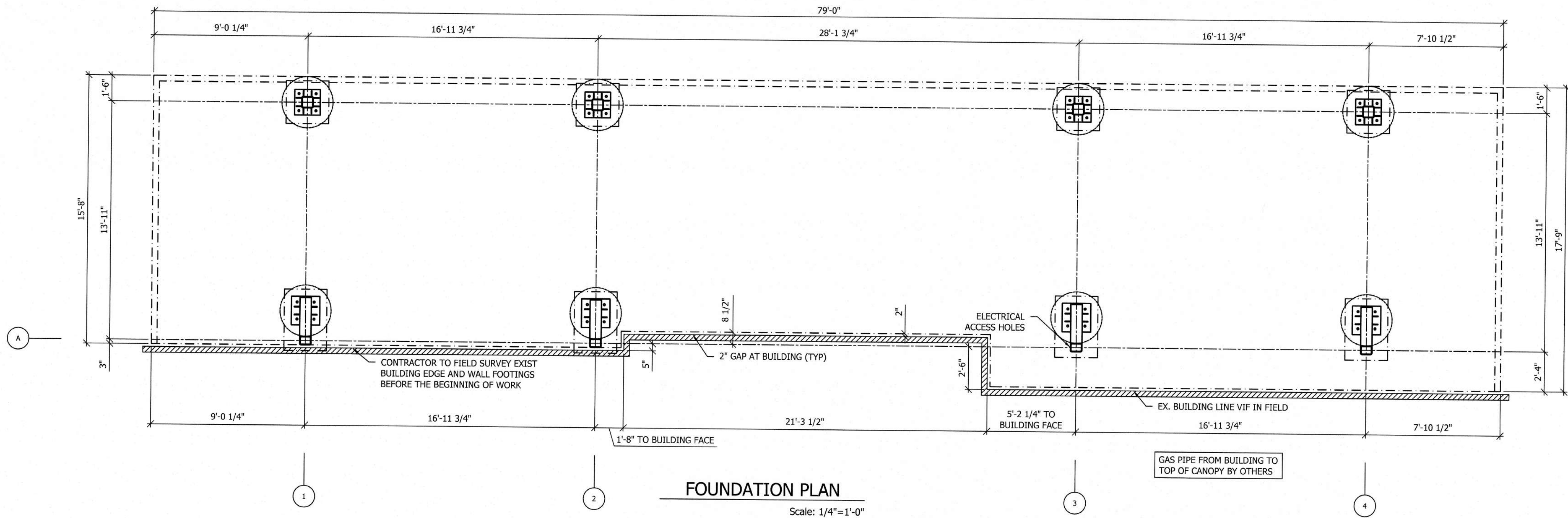
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SHEET  
ACCENT WALL DETAILS V

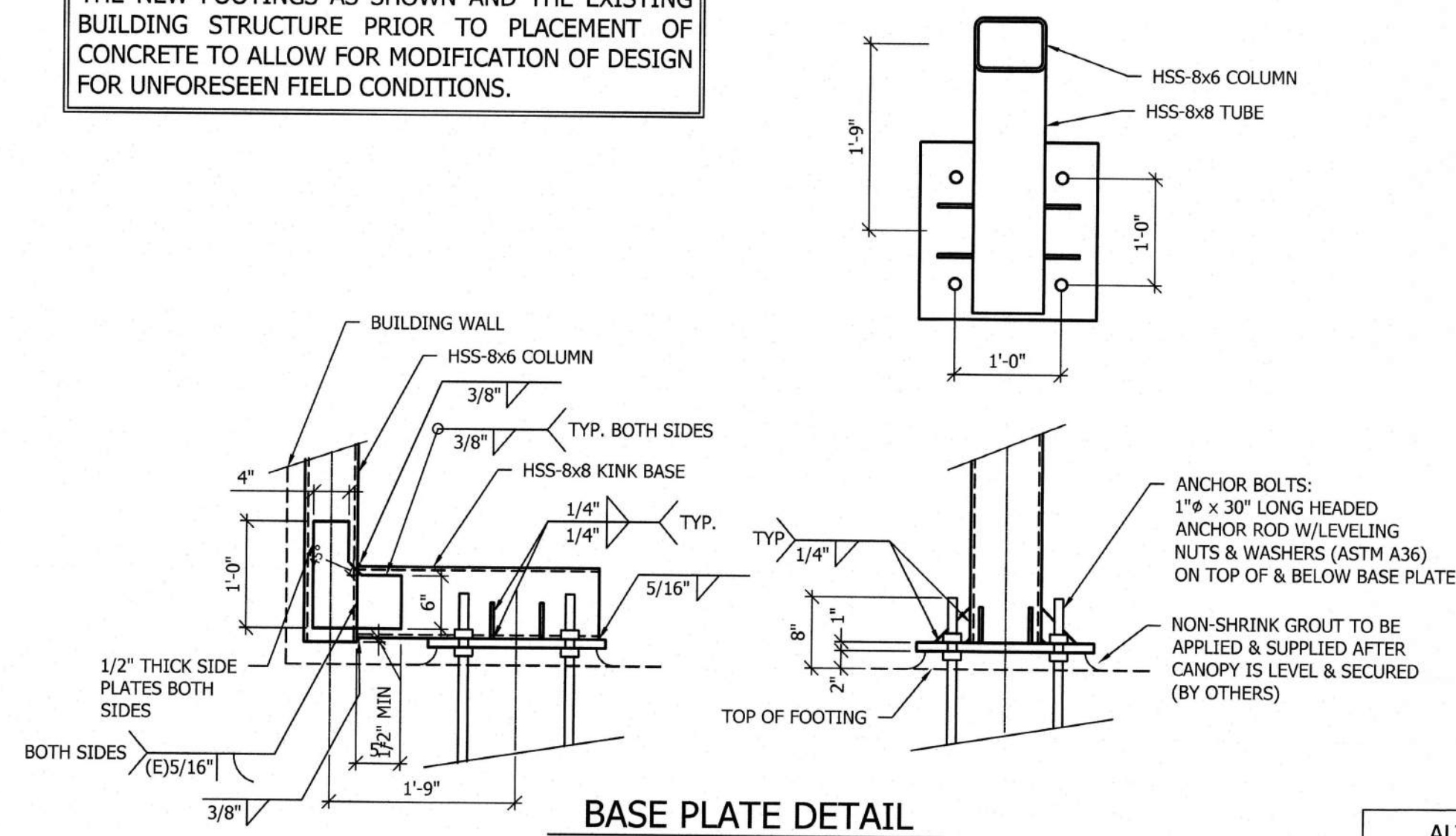
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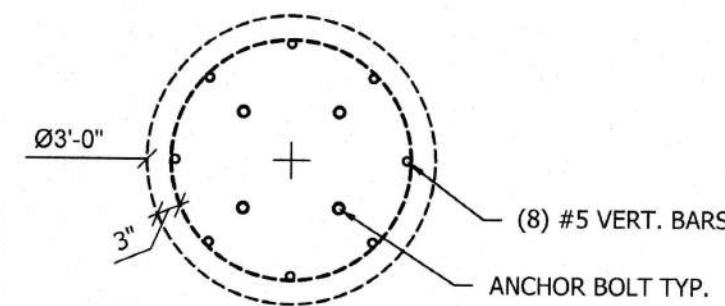
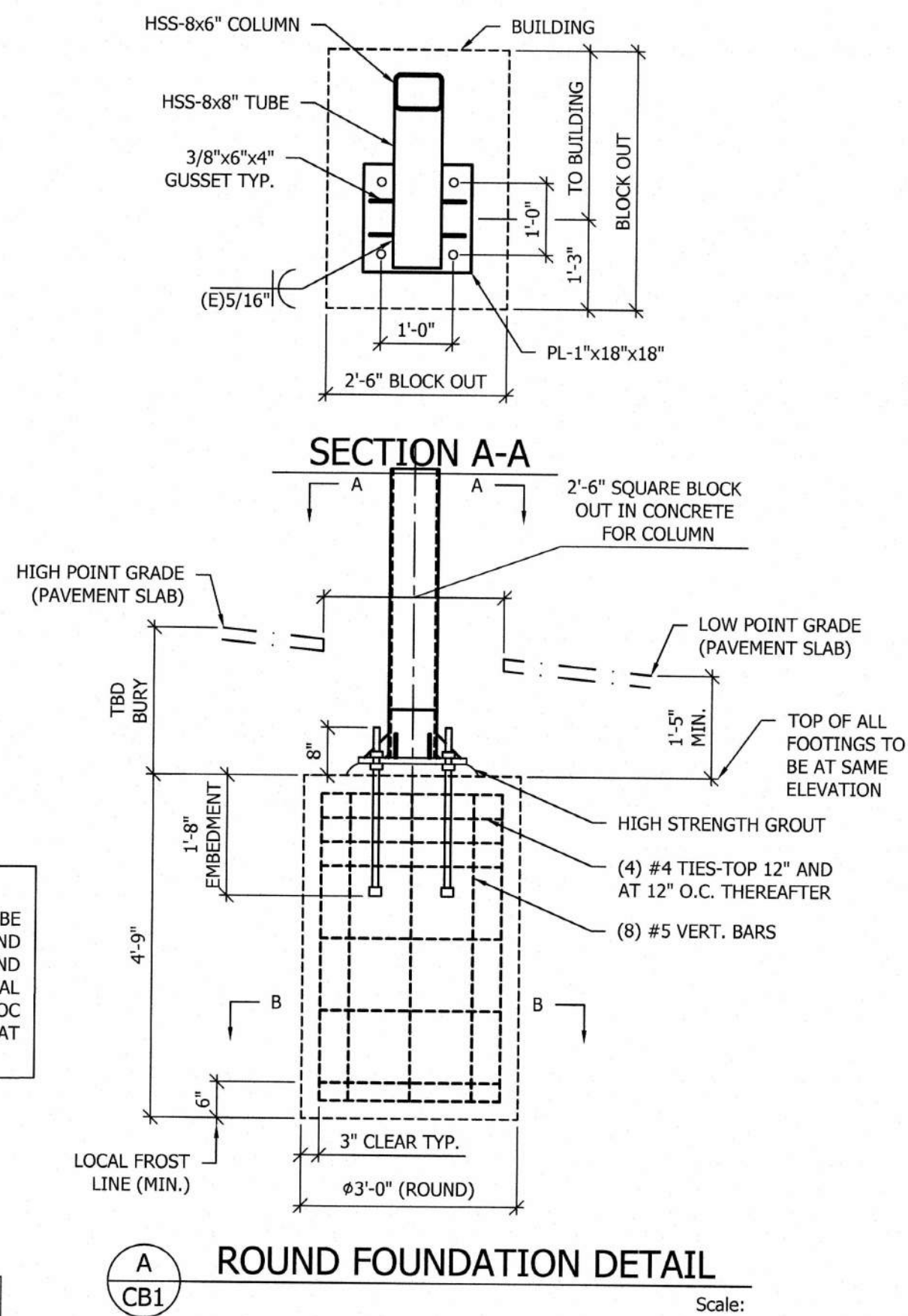


NOTE:  
NEW CANOPY FOOTINGS SHALL NOT IMPACT OR INTERFERE WITH THE EXISTING BUILDING FOOTINGS. THE GENERAL CONTRACTOR SHALL NOTIFY THE CANOPY DESIGNER, ARCHITECT AND STRUCTURAL ENGINEER OF RECORD OF ANY CONFLICTS BETWEEN THE NEW FOOTINGS AS SHOWN AND THE EXISTING BUILDING STRUCTURE PRIOR TO PLACEMENT OF CONCRETE TO ALLOW FOR MODIFICATION OF DESIGN FOR UNFORESEEN FIELD CONDITIONS.

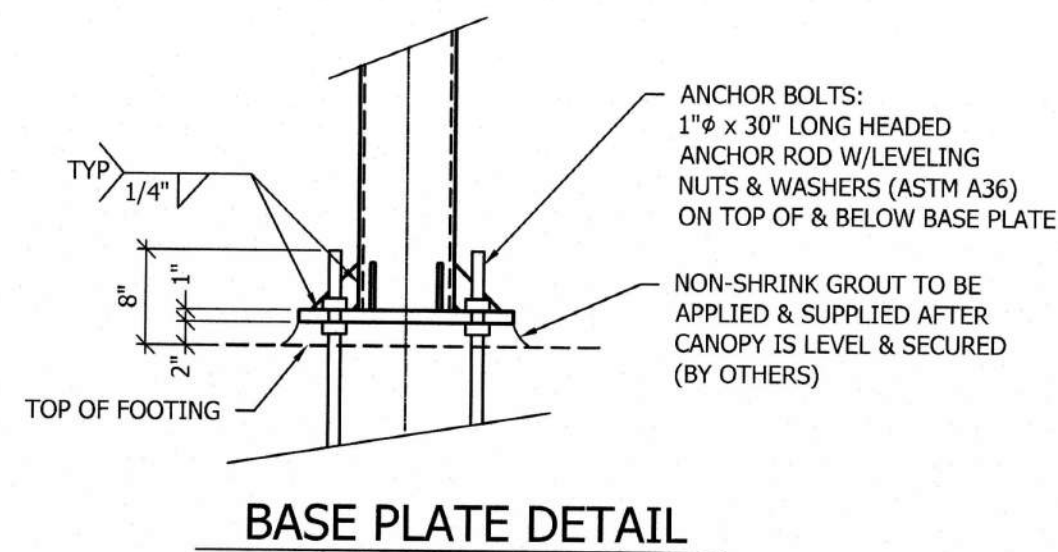
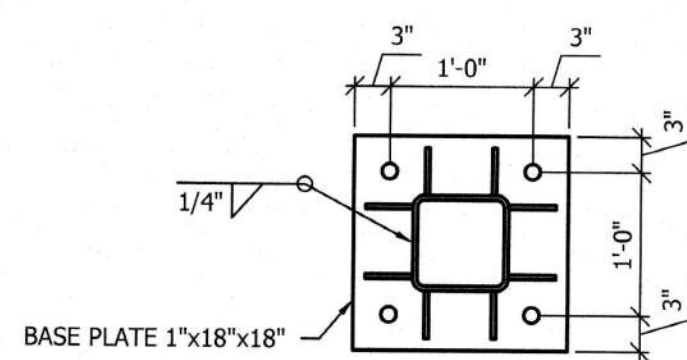


- FOOTING NOTES
1. OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FOOTING AND ANCHOR BOLT INSTALLATION.
  2. ALL FOOTINGS SHALL BE CAST ON LEVEL UNDISTURBED SOIL, ROCK OR PROPERLY COMPACTED SUBGRADE. FOOTING SIZE BASED ON MAXIMUM 3000 PSF SOIL BEARING AT BASE AND 200 PSF PER FOOT OF DEPTH LATERAL BEARING CAPACITY. A GEOTECHNICAL INVESTIGATION REPORT WAS NOT PROVIDED BY THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SOIL PARAMETERS AND FOLLOWING APPLICABLE SOIL PREPARATION RECOMMENDATIONS.
  3. FOOTING CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
  4. FOOTING DESIGN BASED ON AN ASSUMED 1'-0" BURY OF THE COLUMNS FROM THE BOTTOM OF BASEPLATE TO FINISHED GRADE. ANY AMOUNT OF BURY LESS THAN 1'-0" WILL RESULT IN A LARGER FOOTING SIZE.
  5. TOPS OF ALL FOOTINGS ARE ASSUMED TO BE AT SAME ELEVATION. OWNER / GENERAL CONTRACTOR SHALL PROVIDE BURIAL DEPTH FROM HIGH GRADE UNDER CANOPY. WHERE TOPS OF FOOTINGS ARE AT DIFFERENT ELEVATIONS, THE OWNER / GENERAL CONTRACTOR SHALL PROVIDE THE CANOPY MANUFACTURER WITH ALL FOOTING AND GRADE ELEVATIONS PRIOR TO CANOPY FABRICATION. VARIATIONS FROM DESIGN ELEVATIONS MAY RESULT IN INADEQUATE CLEARANCE AND UNDER SIZED FOOTINGS.
  6. OWNER / GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING NON-SHRINK GROUT UNDER ALL COLUMN BASES AFTER CANOPY IS LEVELED AND SECURED.
  7. FOOTING REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 DEFORMED BILLET STEEL BARS WITH SPACING AS SHOWN ON DRAWING.
  8. FOOTINGS ARE ASSUMED TO BE CONSTRAINED BY DRIVE MAT CONCRETE. WHERE THIS CONDITION DOES NOT EXIST, THE OWNER SHALL NOTIFY CANOPY MANUFACTURER.
  9. ANCHOR BOLTS SHALL BE PLACED IN ACCORDANCE WITH THIS DRAWING. TEMPLATES SHALL BE USED TO ENSURE PROPER PLACEMENT OF ANCHOR BOLTS. ANCHOR BOLTS ARE TO BE INSTALLED SUCH THAT A MINIMUM OF 6" OF THREAD IS EXPOSED ABOVE TOP OF FOOTING. BOTTOM OF THREADS SHALL NOT END MORE THAN 3/4" ABOVE TOP OF FOOTER.
  10. ANY DISCREPANCIES BETWEEN THE ABOVE NOTES AND LOCAL BUILDING CODE REQUIREMENTS SHALL BE REPORTED TO THE CANOPY MANUFACTURER IMMEDIATELY. COMMENCEMENT OF FOOTING INSTALLATION SHALL INDICATE THAT THE ABOVE NOTE MEETS LOCAL BUILDING CODE REQUIREMENTS.

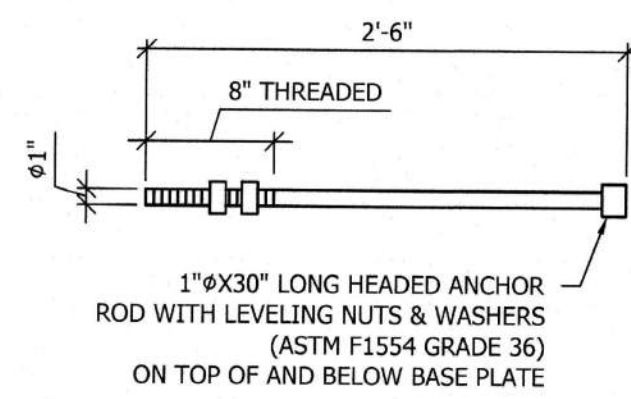
a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: [Signature] Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: [Signature] Date: 8/20/2021  
Administrator



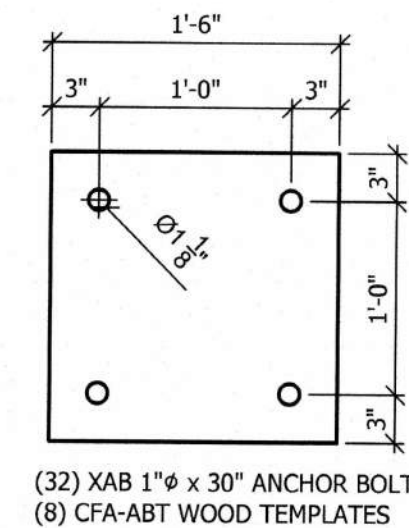
SECTION B-B



BASE PLATE DETAIL



ANCHOR BOLTS  
(4) REQ'D PER FOOTING



FOR ANCHOR BOLT SHIPMENT

REQUIRED VERIFICATION AND INSPECTION	CONTINUOUS	PERIODIC	REFERENCED STANDARD
INSPECTION OF FABRICATORS			
STEEL CONSTRUCTION			
MATERIAL VERIFICATION OF HIGH STRENGTH BOLTS, NUTS AND WASHERS	-	X	AISC 360, SECTION A3.3
INSPECTION OF HIGH STRENGTH BOLTING	-	X	AISC, SECTION M2.5
INSPECTION OF WELDING-VISUAL SINGLE PASS WELDS 5/16" AND LESS	-	X	AWS D1.1
ROOF DECK	-	X	APPLICABLE ASTM MATERIAL STANDARDS
CONCRETE CONSTRUCTION			
REINFORCING STEEL, INCLUDING PLACEMENT	-	X	ACI 318: Ch. 20, 25.2, 25.3, 26.5.1-26.5.3
INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE	-	X	ACI 318: 3.8.6, 8.1.3, 21.2.8
VERIFYING USE OF REQUIRED DESIGN MIX	-	X	ACI 318: Ch. 19, 26.4.3, 26.4.4
CONCRETE SAMPLING FOR STRENGTH, SLUMP, TEMPERATURE AND AIR CONTENT	X	-	ASTM C172, ASTM C31, ACI 318: 26.4.5, 26.12
INSPECTION OF FORMWORK FOR SHAPE, LOCATION AND DIMENSIONS OF MEMBERS BEING FORMED	-	X	ACI 318: 26.10.1(b)
VERIFY MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES	X	-	ACI 318: 26.4.7-26.4.9
INSPECT CONCRETE FOR PROPER APPLICATION TECHNIQUES	X	-	ACI 318: 26.4.5
SOIL			
VERIFY MATERIALS BELOW FOOTINGS ARE ADEQUATE TO ACHIEVE DESIGN BEARING CAPACITY	-	X	
VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL	-	X	
VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESS DURING PLACEMENT AND COMPACTION OF CONTROLLED FILL	X	-	
PRIOR TO PLACEMENT OF CONTROLLED FILL, OBSERVED SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY	-	X	

The Owner shall employ one or more special inspectors to provide inspections during construction on the types of work listed in the Schedule of Special Inspections. The special inspector shall be a qualified person certified by the NC Department of Community Affairs who shall demonstrate competence to the satisfaction of the Building Official, and be approved by the Structural Engineer of Record, for inspection of the particular type of construction or operation requiring special inspection.

The contractor shall be responsible to notify and coordinate all required special inspections with the special inspection agency prior to performing any work that requires special inspections. The contractor shall notify the special inspection agency at least 24 hours in advance to performing any work that requires special inspections.

Job safety is solely the responsibility of the contractor. Materials and activities to be inspected are not to include the contractor's equipment and methods used to erect or install the materials listed.

The Special Inspectors shall keep records of all inspections and shall furnish inspection reports to the Construction Official and to the Structural Engineer of Record. All discrepancies shall be brought to the immediate attention of the contractor for correction. If the discrepancies are not corrected, the discrepancies shall be immediately brought by the Special Inspector to the attention of the Code Official and the Structural Engineer of Record.

The special inspection agency shall submit a final report signed and sealed by a North Carolina PE that is in charge of the inspections. This final report shall document all required special inspections, test or structural observations and any discrepancies noted in these inspections.



DESCRIPTION

REVISION HISTORY

BY

DATE

REV.



04/01/2021



1019 E. North Street  
Ottawa, Kansas 66067  
Phone: 785.242.8111  
Fax: 785.242.2022

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ANY USE OF SAME WITHOUT THE  
EXPRESS WRITTEN PERMISSION  
OF FASHION INC. IS PROHIBITED

SITE:  
CHICK-FIL-A #1760  
6711 KNIGHTDALE BLVD  
KNIGHTDALE, NC  
(8) COLUMN CANOPY  
OMD CANOPY

SCALE: AS SHOWN  
DRAWN BY: JDG  
CHECKED BY: AP

JOB NUMBER:  
61760.1

SHEET TITLE:  
FOUNDATION PLAN

SHEET NUMBER:  
CB1





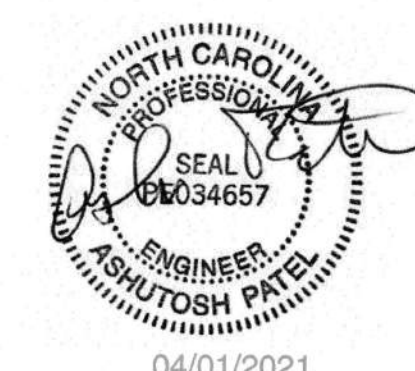
DESCRIPTION

REVISION HISTORY

BY

DATE

REV.

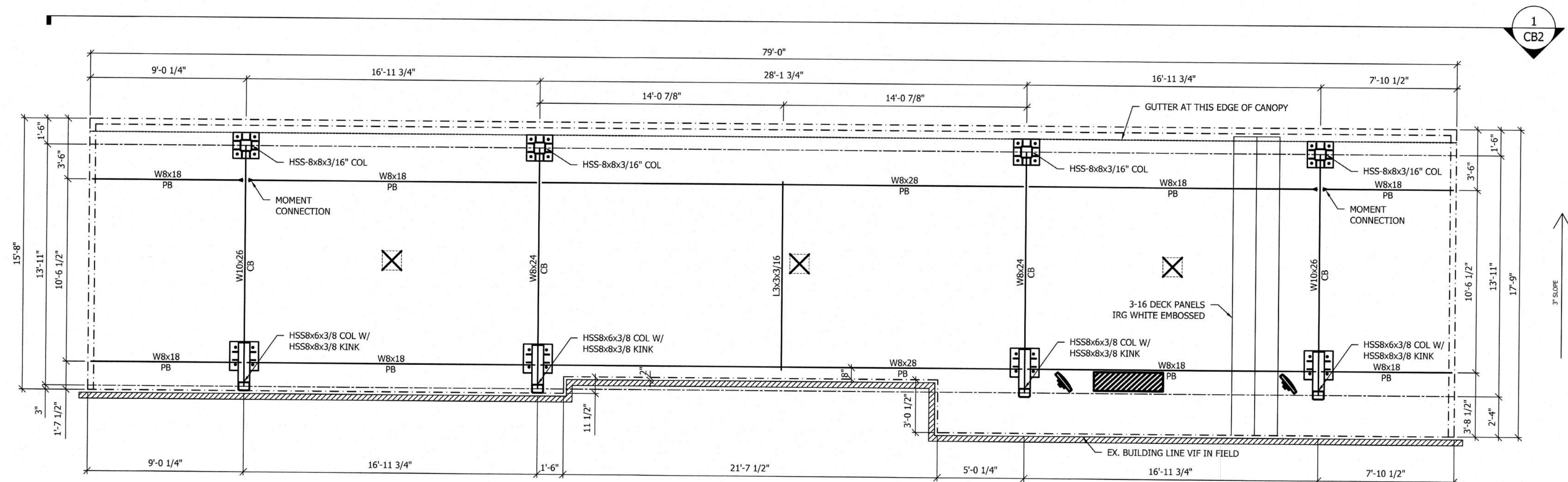


1019 E. North Street  
Olathe, Kansas 66067  
Phone: 785.242.8111  
Fax: 785.242.2022

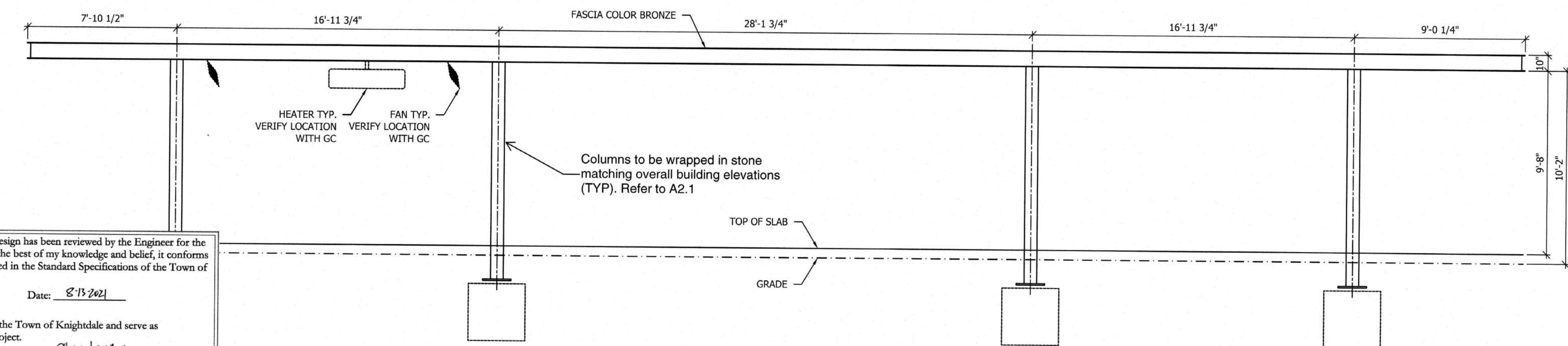
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KNIGHTDALE, NC  
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OMD CANOPY

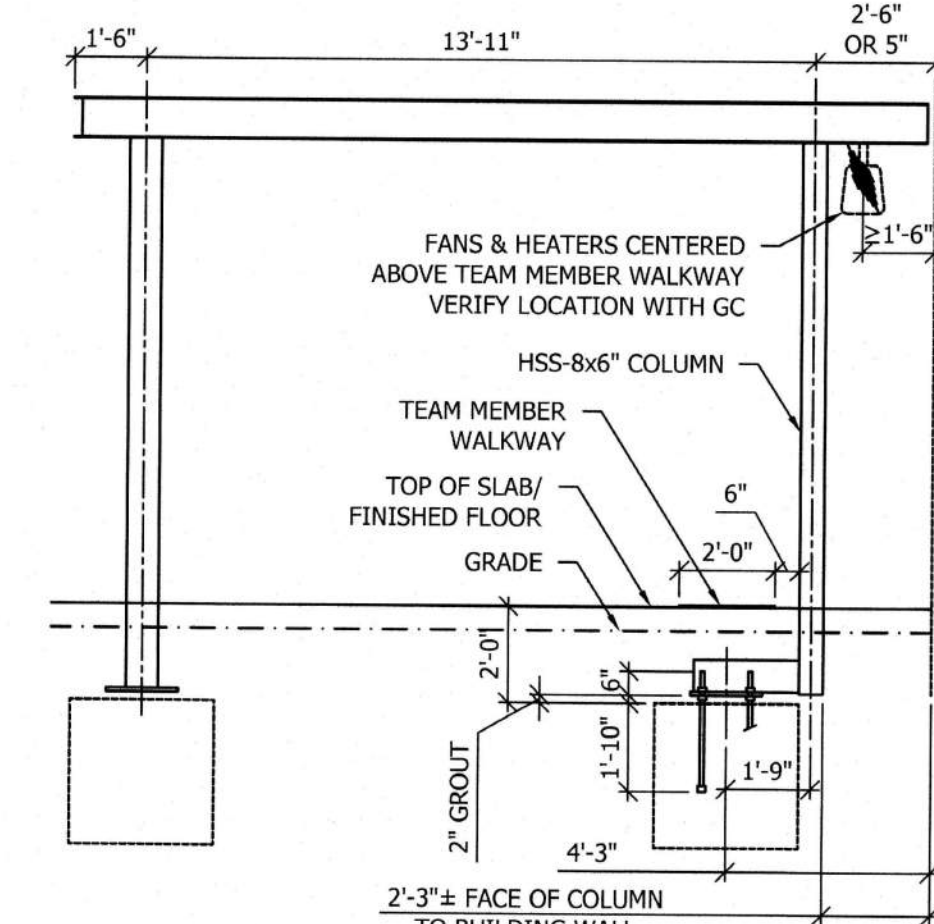
SCALE: AS SHOWN  
DRAWN BY: JDG  
CHECKED BY: AP

JOB NUMBER:  
61760.1SHEET TITLE:  
FRAMING PLANSHEET NUMBER:  
CB2

FRAMING PLAN  
Scale: 1/4"=1'-0"



FRONT ELEVATION  
Scale: 1/4"=1'-0"



END ELEVATION  
Scale: 1/4"=1'-0"

**a. Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: *[Signature]* Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: *[Signature]* Date: 8/20/2021  
Administrator

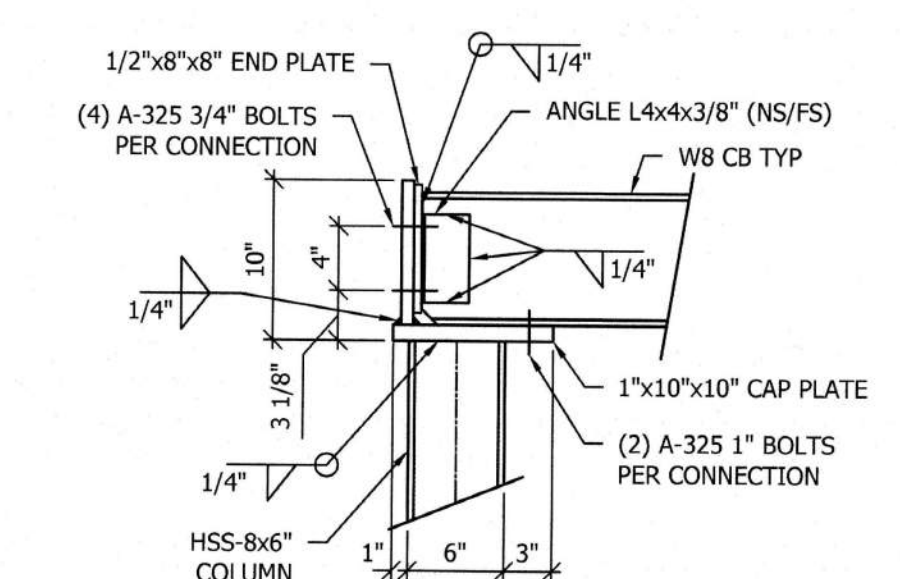
- STEEL NOTES**
- DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE LATEST AISC SPECIFICATIONS. DESIGN, FABRICATION AND ERECTION OF COLD FORMED STEEL SECTIONS SHALL CONFORM TO THE LATEST AISI SPECIFICATIONS.
  - STRUCTURAL MATERIALS:  
WIDE FLANGE SECTIONS - ASTM A992 OR A572 GRADE 50 (Fy = 50 KSI)  
ANGLES / CHANNELS - ASTM A36 (Fy = 36 KSI)  
HOLLOW STRUCTURAL SECTIONS (TUBE) - ASTM A500 GRADE B (Fy = 46 KSI)  
PIPE SECTIONS - ASTM A53, GRADE B (Fy = 35 KSI)  
PLATE - ASTM A36 (Fy = 36 KSI)  
ROOF DECK - ASTM A653, GRADE 50 (Fy = 50 KSI), GALVANIZED (G60) WITH BAKED ENAMEL FINISH  
STEEL OUTRIGGERS - ASTM A653 GR. CS (Fy = 25 KSI), GALVANIZED (G90) PER ASTM 924  
STRUCTURAL BOLTS - ASTM A325  
ANCHOR BOLTS - ASTM F1554 GR. 36
  - WELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH LATEST ANSI / AWS D1.1
  - FIELD CONNECTIONS SHALL BE BOLTED CONNECTIONS UNLESS SPECIFIED ON DRAWING.
  - ALL STRUCTURAL BOLTED CONNECTIONS SHALL USE ASTM A325 BOLTS. BOLTED JOINTS SHALL BE TIGHTENED TO SNUG TIGHT PER LATEST RCSC SPECIFICATION.
  - STRUCTURAL STEEL SHALL BE SHOP COATED WITH A RED-OXIDE RUST INHIBITIVE PRIMER. FIELD TOUCH-UP, FINISH PAINTING, AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER (UNLESS OTHERWISE SPECIFIED).
  - DESIGN LOADS PER 2018 INTERNATIONAL BUILDING CODE WITH NC AMENDMENTS AND LOCAL REQUIREMENTS:

ROOF LIVE LOAD = 20 PSF  
FLAT ROOF SNOW LOAD = 12.6 PSF + DRIFT @ ADJACENT BUILDING  
BASED ON GROUND SNOW LOAD = 15 PSF  
RAIN SURCHARGE = 5 PSF

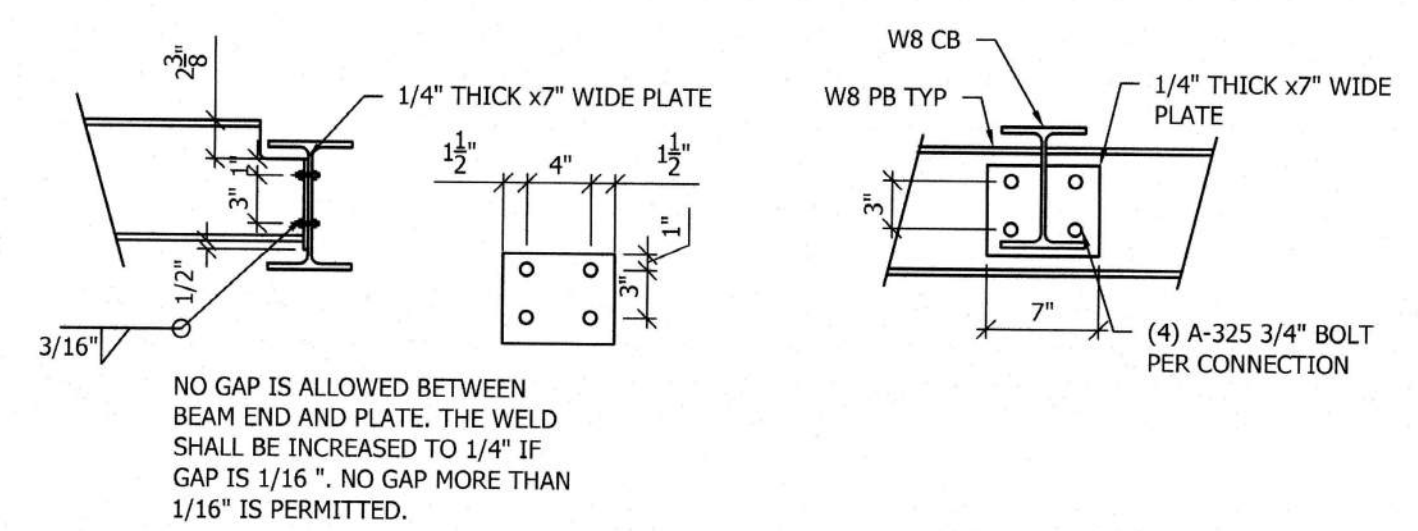
WIND LOADS:  
LATERAL = 61.20 PSF (ULTIMATE)  
UPLIFT = 22.90 PSF (ULTIMATE)  
BASED ON 115 MPH 3 SECOND GUST WIND SPEED AND EXPOSURE 'C' PER ASCE 7-16.  
RISK CATEGORY II

SEISMIC LOADS:  
SEISMIC RISK CATEGORY II, SITE CLASS "D" ASSUMED, SEISMIC DESIGN CATEGORY "B"  
Sds = 0.122g (Ss = 0.115g, Fa = 1.6), Sd1 = 0.093g (S1 = 0.058g, Fv = 2.4)  
SEISMIC FORCE RESISTING SYSTEM IS INVERTED PENDULUM - CANTILEVERED COLUMN, R = 1.25  
Cs = 0.098

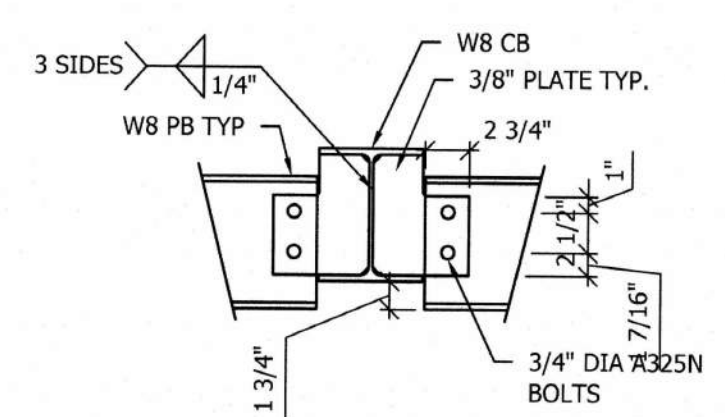
DEAD LOADS:  
DECK / GUTTER / LIGHTS - 4.5 PSF  
FASCIA - 4.5 PSF (PER DESIGN)  
STRUCTURAL STEEL - SELF WT  
CONCRETE - 150 PCF



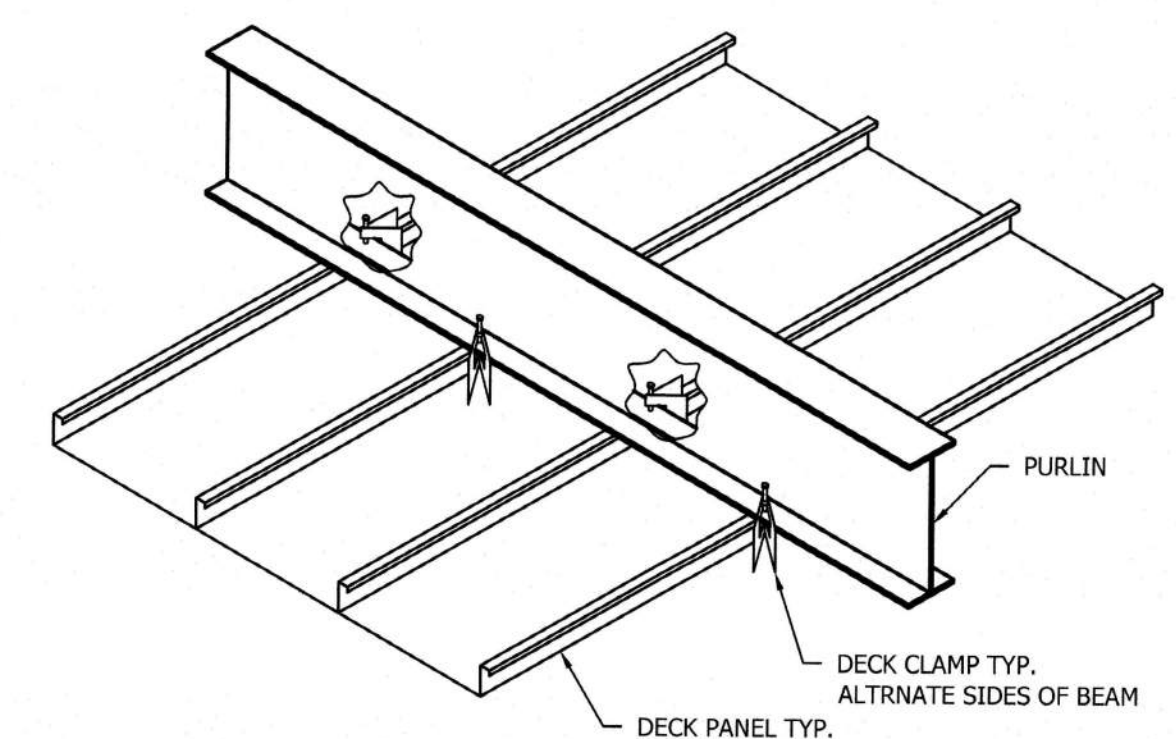
TYP. COLUMN / CROSSBEAM CONNECTION



TYP. CONTINUOUS PURLIN CONNECTION

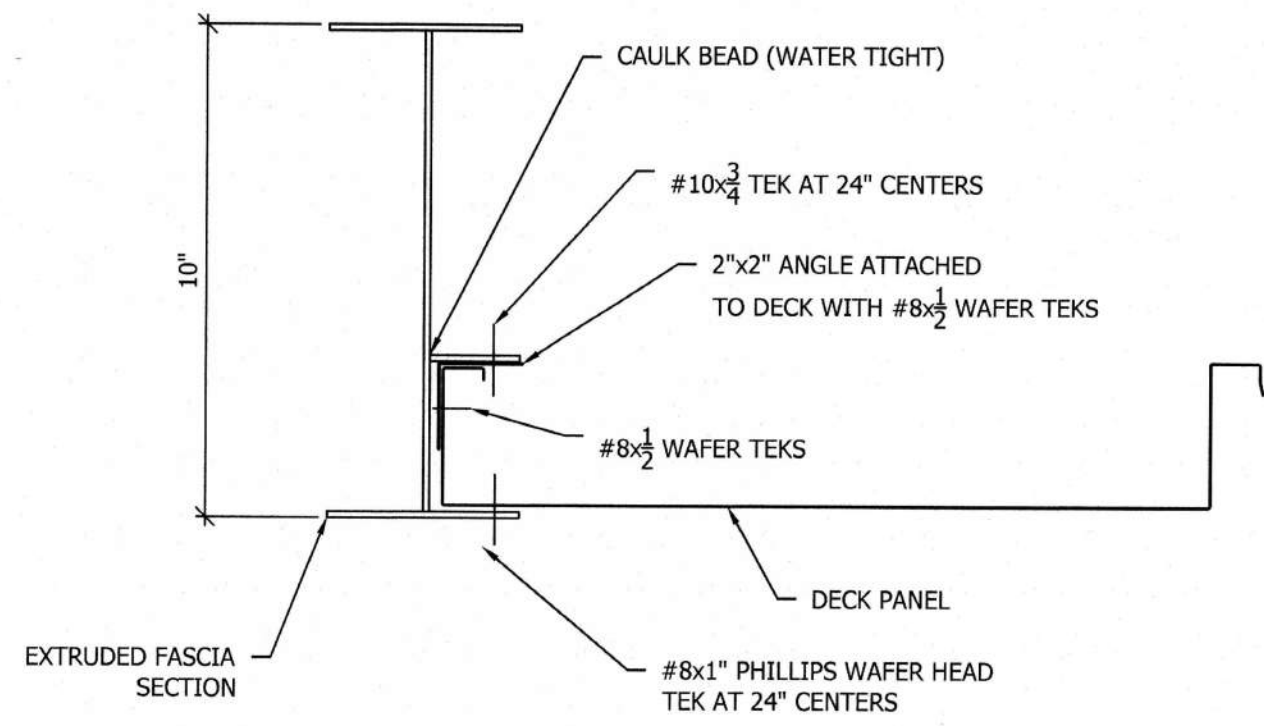


TYP. INNER PURLIN CONNECTION

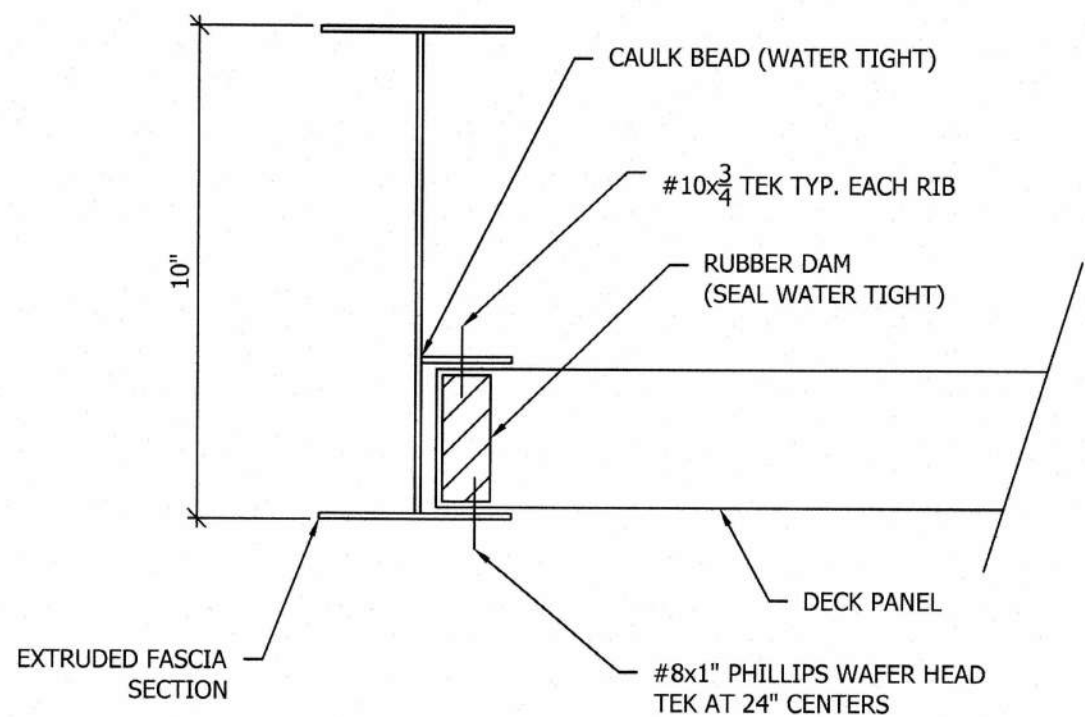


DECK CLAMP DETAIL

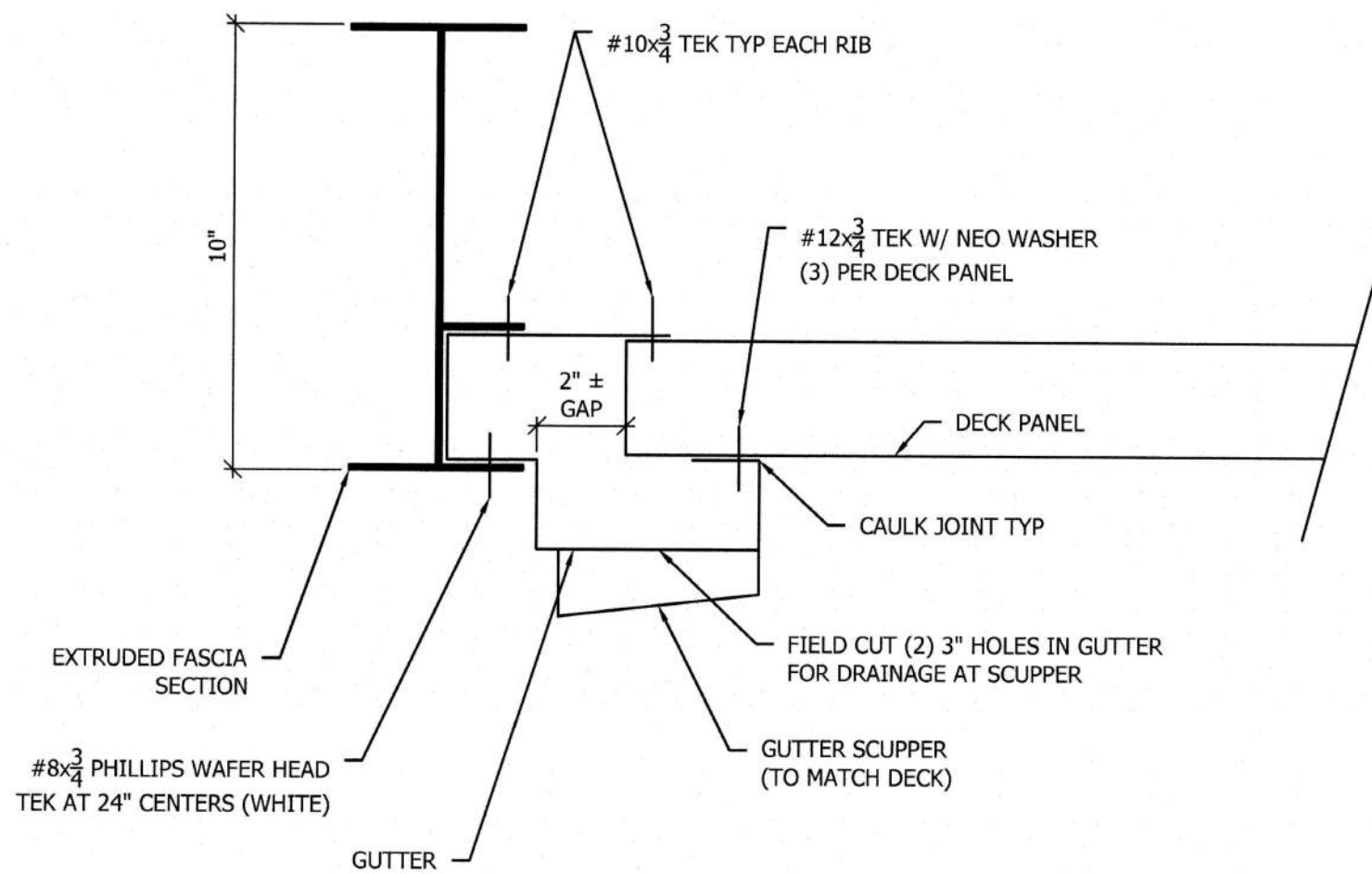




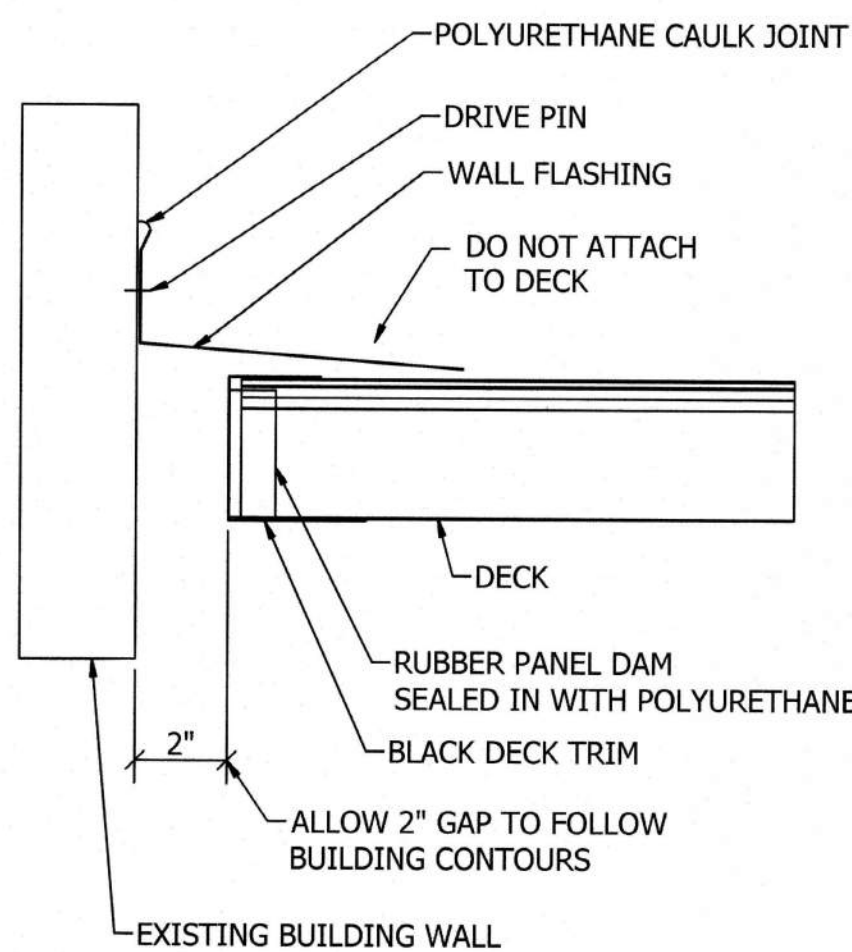
**FASCIA SECTION (ENDS)**



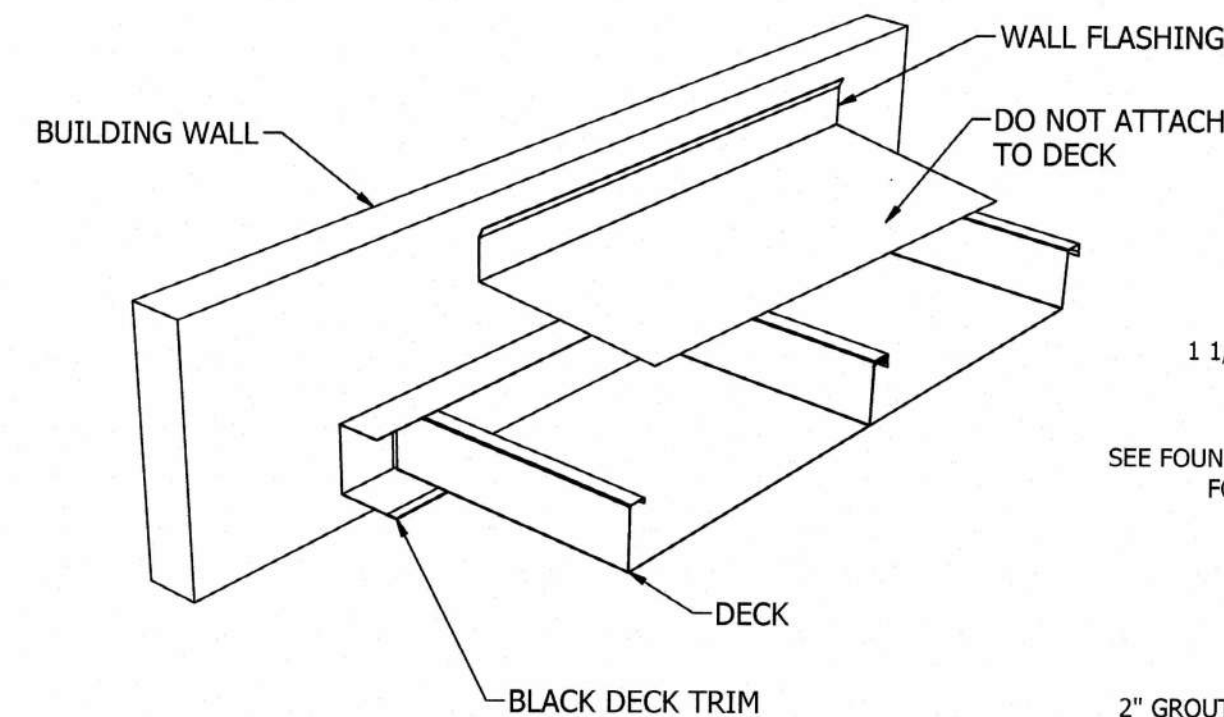
**FASCIA SECTION (SIDE WITHOUT GUTTER)**



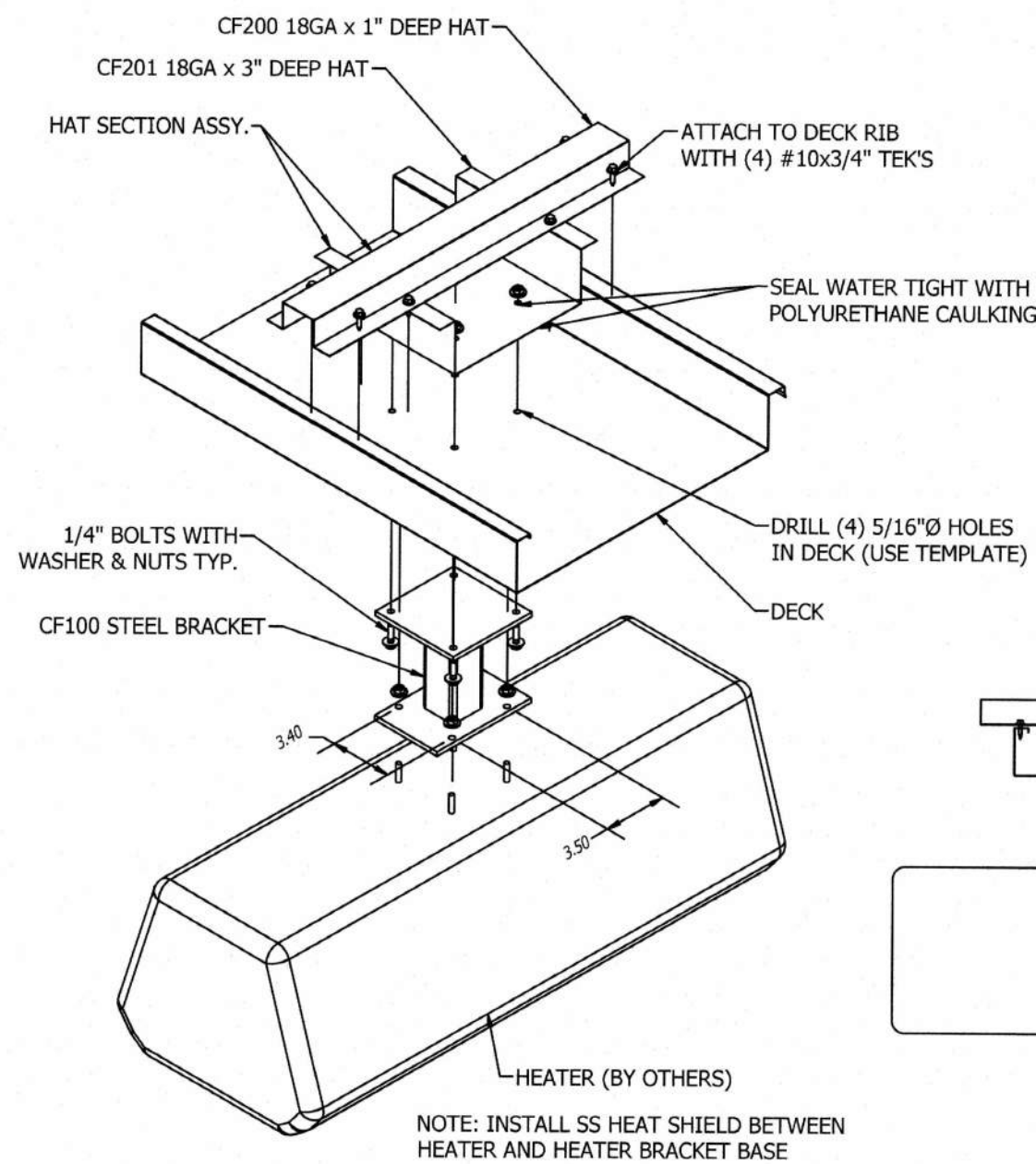
**FASCIA / GUTTER SECTION W/O UNDERGROUND DRAINAGE**



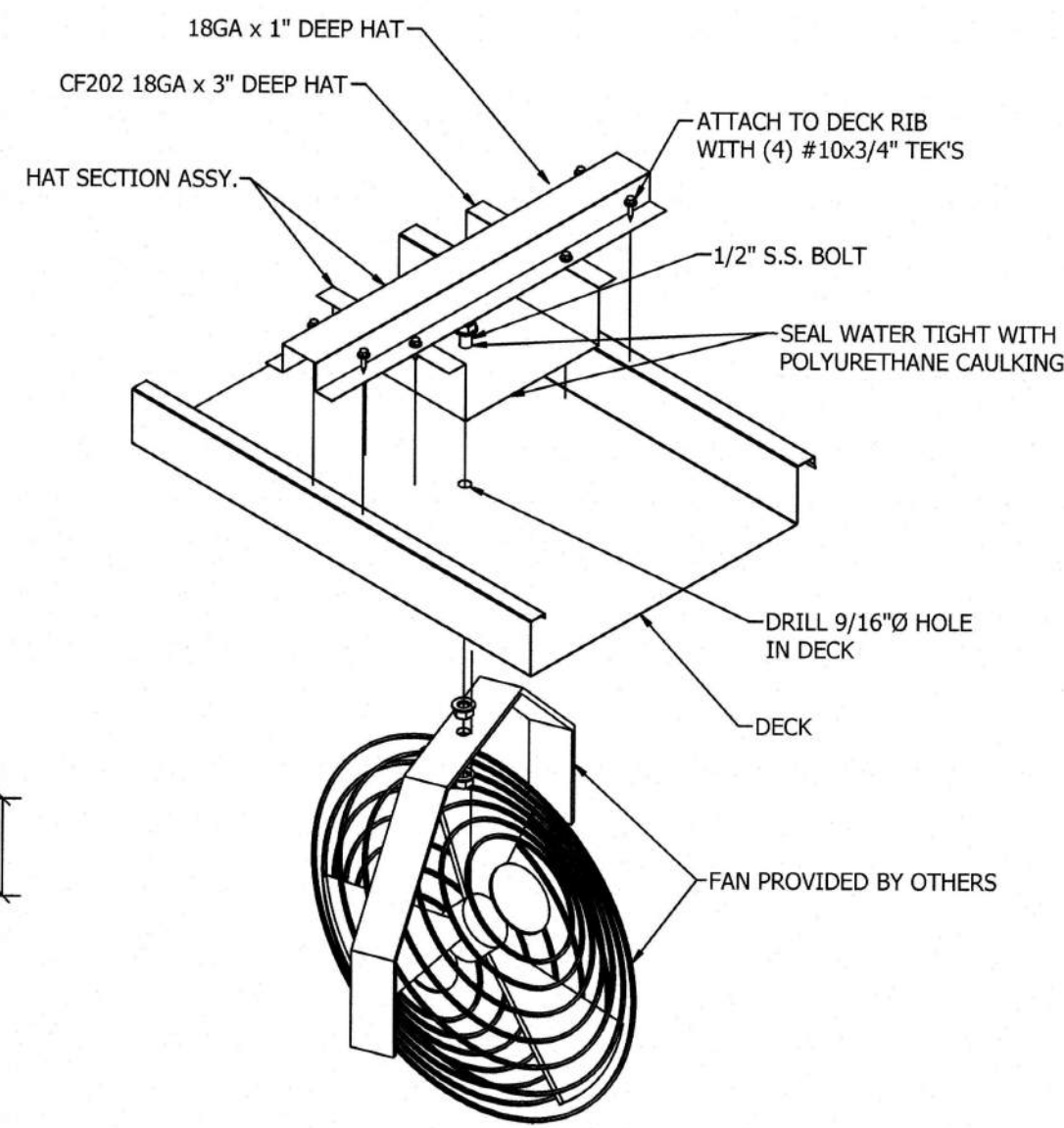
**BUILDING FLASHING DETAIL**



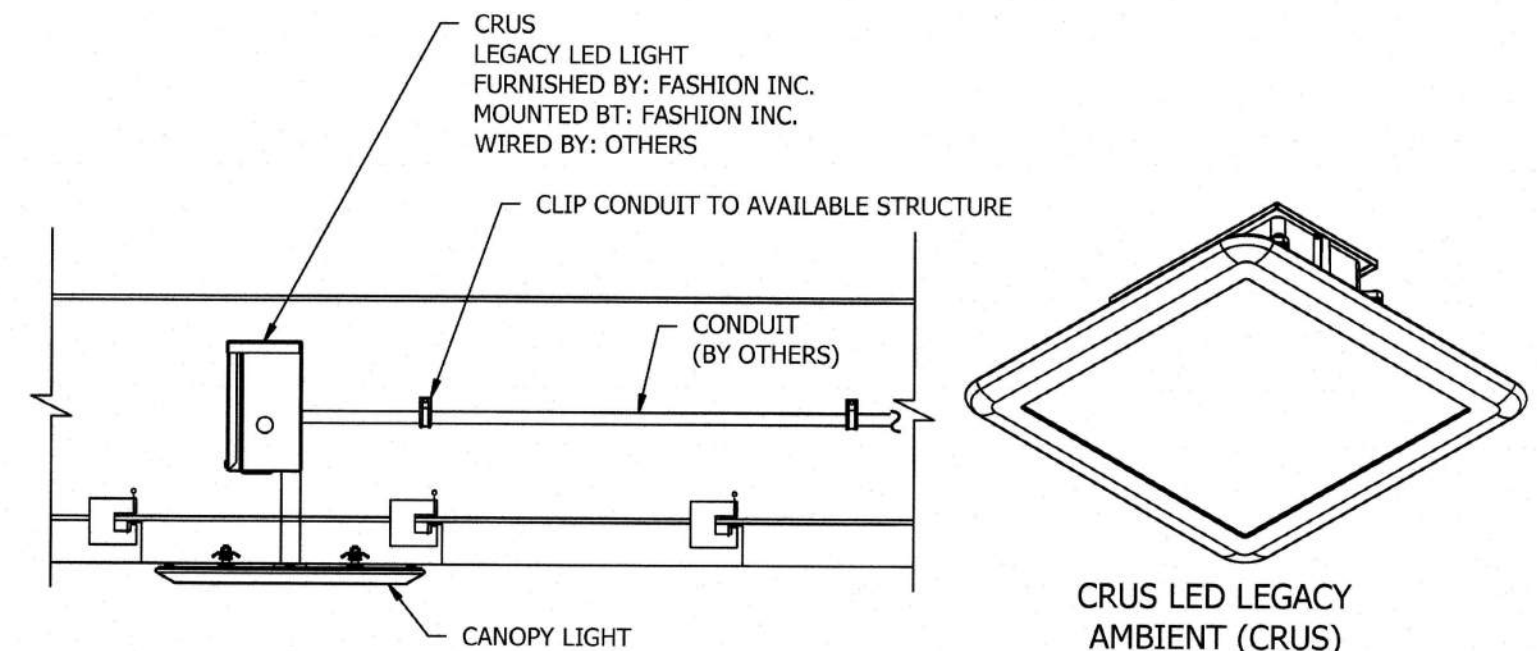
**GAS PIPE DETAIL**



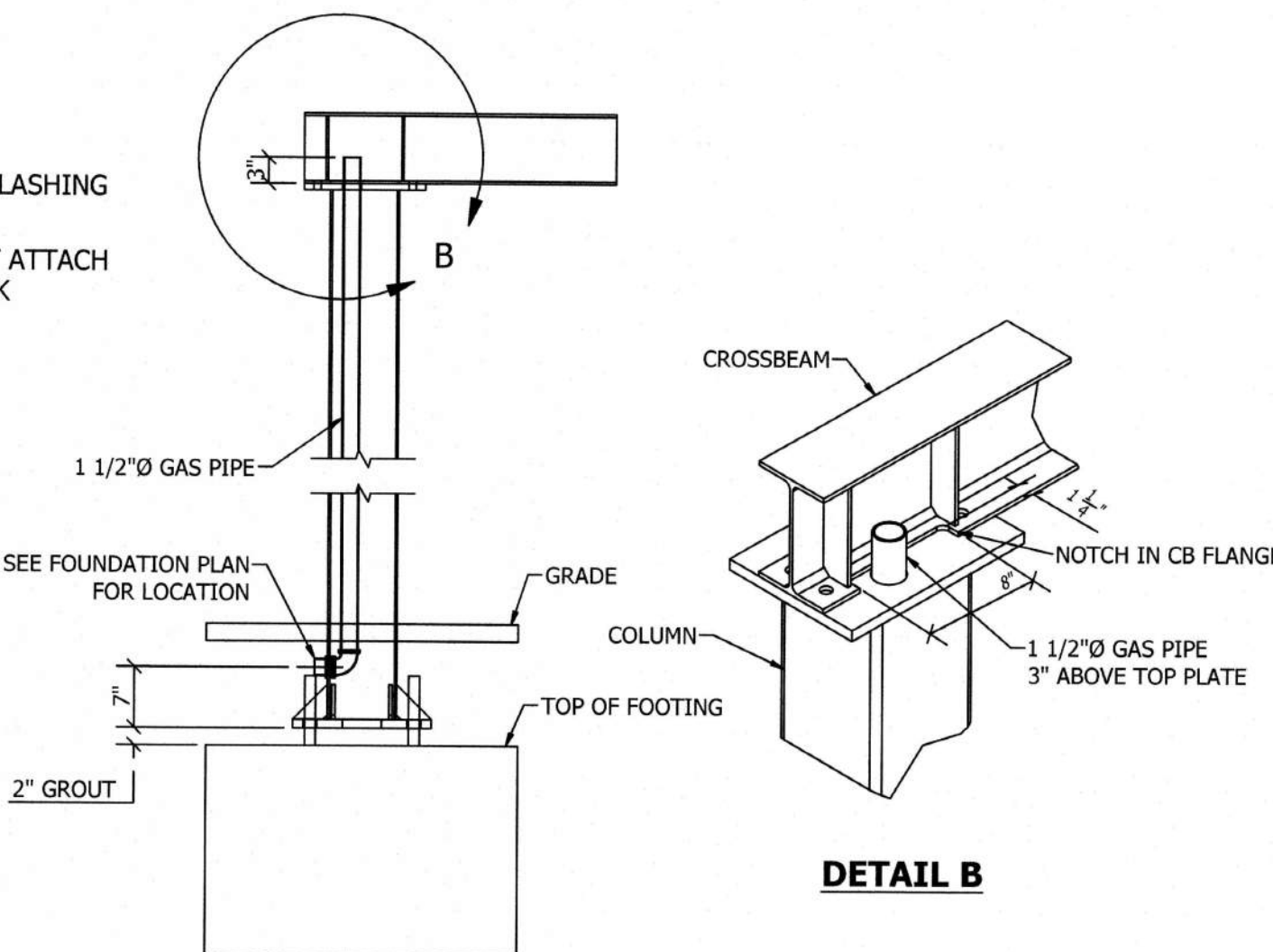
**HEATER BRACKET DETAIL**



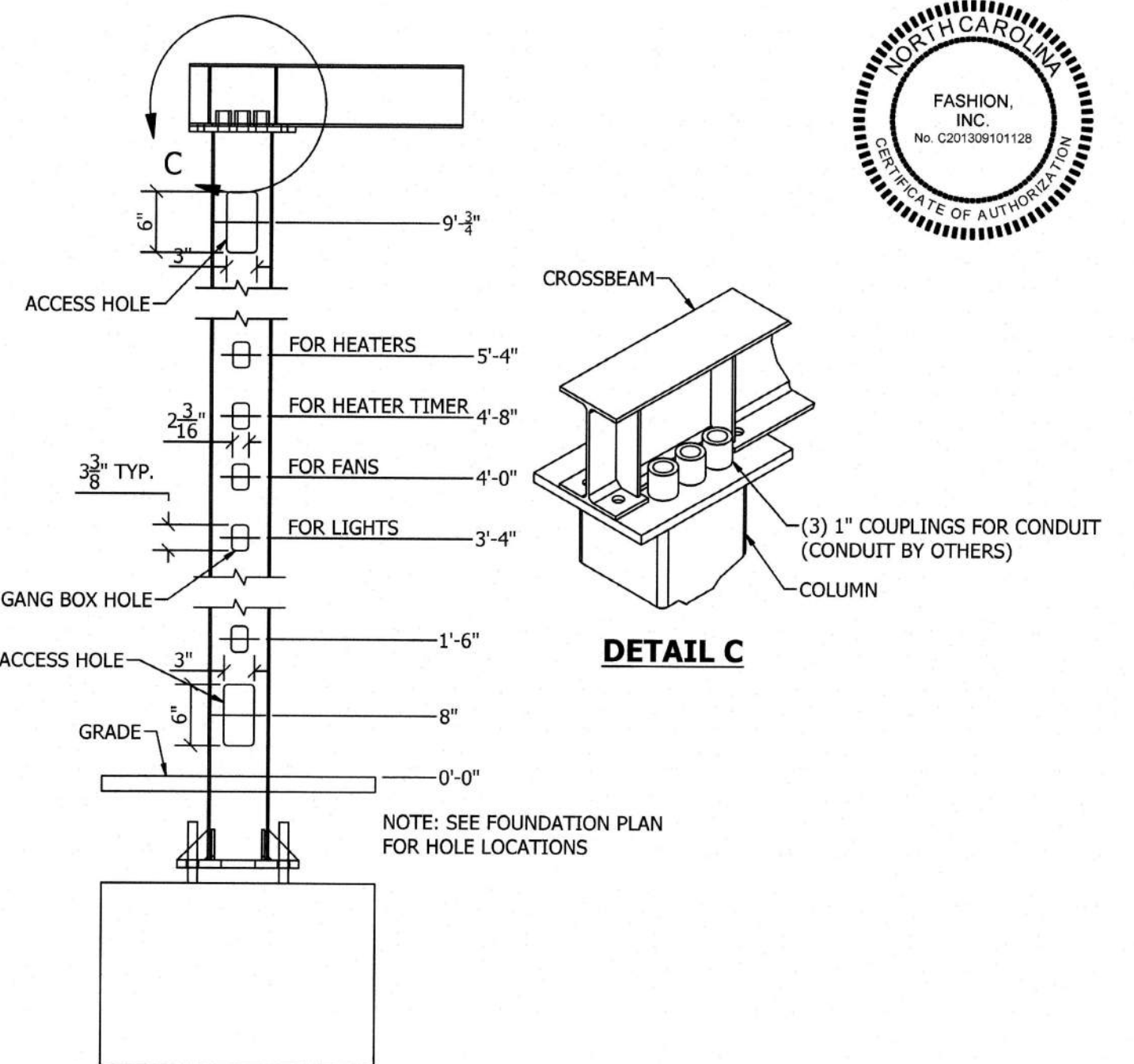
**FAN BRACKET DETAIL**



**CANOPY LIGHT DETAIL**



**ACCESS HOLE / GANG BOX HOLE DETAIL**



**DETAIL C**



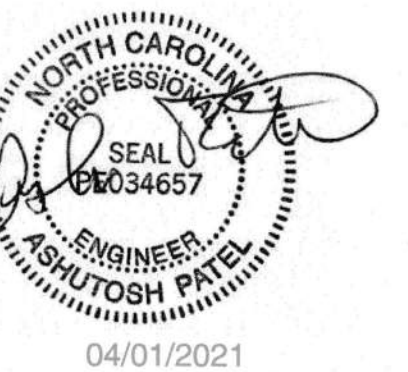
REVISION HISTORY

DESCRIPTION

BY

DATE

REV.



1019 E. North Street  
Ottawa, Kansas 66067  
Phone: 785.242.8111  
Fax: 785.242.2022

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EXPRESS WRITTEN PERMISSION  
OF FASHION INC. IS PROHIBITED

SITE:  
CHICK-FIL-A #1760  
6711 KNIGHTDALE BLVD  
KNIGHTDALE, NC

(8) COLUMN CANOPY  
OMD CANOPY

SCALE: AS SHOWN DRAWN BY: JDG CHECKED BY: AP

JOB NUMBER: 61760.1

SHEET TITLE: STANDARD DETAILS

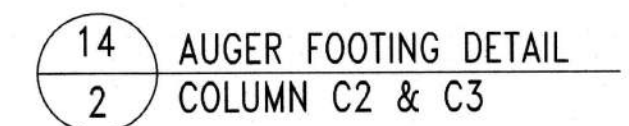
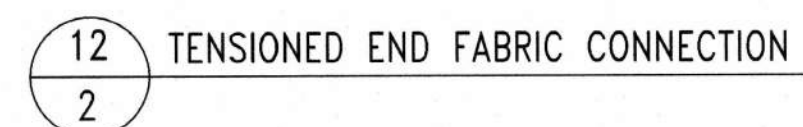
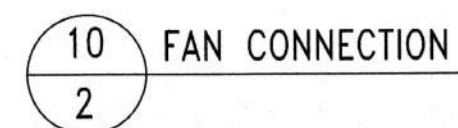
SHEET NUMBER: CB3

**Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: *S. Allen* Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: *R. Adams* Date: 8/20/2021  
Administrator









SEAL:

NORTH CAROLINA  
PROFESSIONAL  
SEAL  
044783  
ENGINEER  
DAVIDSON  
6/8/2001

2  
Sheet No.

CHICK-TIL-A  
Store# 1760 - Knightdale  
6711 Knightdale Blvd.  
Knightdale, NC 27545

**SUPERIOR**  
RECREATIONAL PRODUCTS

---

Shade

Slide



# 40 KEY NOTES:

1. NEW ALUMINUM STOREFRONT DELIVERY DOOR; MATCH EXISTING STOREFRONT SYSTEM. PROVIDE CARD READER ON EXTERIOR FOR EMPLOYEE ACCESS.
2. NEW DELIVERY DOOR BY TORMAX AUTOMATIC. REFER TO DOOR SCHEDULE AND MANUFACTURER DETAIL. EXISTING STUCCO AND STONE VENEER TO REMAIN.
3. NEW LOCATION OF GAS METER AND LINE. PAINT PT-9.
4. REMOVE EXISTING CANOPIES & SOFFITS IN THIS REGION. REMOVE EXISTING FINISHES. REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS. ADD SHEATHING WHERE REQUIRED. SEE DETAILS ON A-3.1.
5. EXISTING FABRIC AWNING TO REMAIN.
6. NEW FABRIC AWNING PROVIDED & INSTALLED BY UNISTRUCTURES. COORD. WITH SHOP DRAWINGS. REFER TO SHEET A3.1 FOR BLOCKING HEIGHTS.
7. NEW CANOPY PROVIDED AND INSTALLED BY UNISTRUCTURES. REFERENCE SHEET A3.2. COORDINATE WITH SHOP DRAWINGS.
8. NEW METAL COPING PRE-FINISHED TO MATCH PT-9 DARK BRONZE. PROVIDE FLASHING PER MANUFACTURER'S SPEC. WHERE ADJACENT TO EXIST. COPING.
9. MASONRY EXPANSION JOINT; MIN. 1" WIDTH WITH FOAM BACKER ROD AND SEALANT. FULL HEIGHT OF WALL. MATCH EXPANSION JOINT COLOR TO THE MORTAR COLOR. REFER TO A4.3.2.
10. MASONRY CONTROL JOINT. PROVIDE JOINT AT 48" FROM CORNER WHEN WALL LENGTH IS GREATER THAN 12'-0". SEE 5/A3.1.
11. NEW STUCCO OVER METAL LATHE TO MATCH EXISTING. REFER TO EXTERIOR FINISH SCHEDULE.
12. FIELD STONE VENEER STN-2. SEE STONE SPECIFICATIONS FOR MANUFACTURER AND COLOR. G.C. TO VERIFY "MATCH" PRIOR TO ORDERING.
13. STONE WAINSCOT SILL. STN-2. HEIGHT AND OFFSETS TO MATCH EXISTING.
14. NEW STUCCO BAND TO MATCH EXISTING.
15. CONTINUOUS COATED STUCCO FOAM CORNICE. HEIGHTS AND OFFSETS TO MATCH EXISTING.

16. NEW OVERFLOW SCUPPER. REFER TO A1.4. PAINT TO MATCH STUCCO FINISH.
17. NEW CONDUCTOR HEAD & DOWNSPOUT. PREPARE OPENING FOR NEW PIPING AS SHOWN. G.C. TO ENSURE WATERTIGHT CONNECTION OF SYSTEM. REFER TO PLUMBING SHEETS AND A1.4. PAINT PT-9.
18. NEW LOCATION FOR RELOCATED LIGHTING. MOUNTING HEIGHT TO MATCH EXISTING. COORDINATE WITH IN FIELD CONDITIONS AND ELECTRICAL SHEETS.
19. PROVIDE NEW EXTERIOR RADIUS LED WALL SCONCE. COORDINATE WITH IN FIELD CONDITIONS AND ELECTRICAL SHEETS.
20. NEW EXTERIOR DAYLIGHT WINDOW. REFER TO A4.4 FOR ADDITIONAL INFORMATION.
21. NEW LOCATION OF ELECTRICAL UTILITIES. G.C. TO COORDINATE FINAL LOCATION WITH CIVIL AND ELECTRICAL DRAWINGS AS WELL AS AUTHORITY HAVING JURISDICTION.
22. NEW LOCATION OF EXISTING SIGNAGE. COORDINATE WITH CHICK-FIL-A CM AND CLAYTON SIGNS REGARDING REFURBISHMENT OF EXISTING SIGNAGE. REPAIR BUILDING FACE AS REQUIRED TO MAKE "LIKE-NEW" CONDITION.
23. NEW COM TIER 3 CANOPY PROVIDED AND INSTALLED BY LANE SUPPLY, INC. COORDINATE WITH SHOP DRAWINGS. CANOPY FACIA AND COLUMNS TO BE MATTE BLACK. TEXTURED (SMOOTH FINISH UPON APPROVAL). GUTTER AND DECK PANELS TO BE SMOOTH WHITE, HIGH GLOSS.
24. EXISTING STUCCO AND STONE VENEER TO REMAIN.

# 50 EXTERIOR FINISH SCHEDULE:

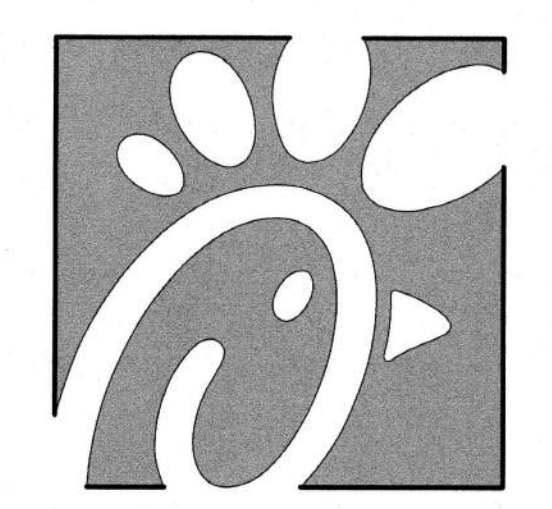
- |          |   |           |   |
|----------|---|-----------|---|
| • STN-1: | EXISTING STONE VENEER TO REMAIN   | • HMDF:   | HOLLOW METAL DOOR & FRAME BY ZIGMAN PRODUCTS COMPANY, DARK BRONZE   |
| • STN-2: | FIELD STONE #2 ELDERADO STONE VENEER G.C. TO VERIFY "MATCH" EXISTING COLOR. STACKED STONE "CASTAWAY" G.C. TO VERIFY "MATCH" PRIOR TO ORDERING | • AW-2:   | NEW FABRIC AWNING - SUNBRELLA FABRIC (4684-000, SLATE)  |
| • SC-1:  | PAINT EXISTING STUCCO FINISH PT-23B   | • A-1:    | ALUMINUM AWNING - COVERED, COLOR BLACK. SIZE: V.I.F.  |
| • SC-2:  | PAINT STUCCO FINISH TO MATCH SC-1 - G.C. TO VERIFY "MATCH" PRIOR TO ORDERING. SUBMIT TO OWNERS REP. FOR APPROVAL                              | • PT-2:   | SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING. SW6256 "TRICOPIR BLACK". USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER |
| • LHT-1: | NEW EXTERIOR WALL SCONCE, FIXTURE "OL"  | • PT-23B: | SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING. SW6105 "LATTE". USED WITH SW LOXON CONDITIONER UNIVERSAL PRIMER                |
| • LHT-2: | NEW EXTERIOR WALL SCONCE, FIXTURE "OA"  | • PT-9:   | EXTERIOR PAINT MISCELLANEOUS METALS. SHERWIN WILLIAMS - SHER CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR: DARK BRONZE, SEMI-GLOSS FINISH     |
| • LHT-3: | EXISTING WALL PACK TO BE RELOCATED, FIXTURE "OK"  | • PT-7:   | EXTERIOR PAINT REFUSE ENCLOSURE. SHERWIN WILLIAMS - #SW2807 "ROCKWOOD" (MEDIUM BROWN) SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS |
| • LHT-4: | NEW EXTERIOR WALL WASHER, FIXTURE "OJ"  | • ST-1:   | EXISTING STOREFRONT TO REMAIN. REPLACE PUSH/PULL HARDWARE WITH CLEAR, ANODIZED HARDWARE ON STOREFRONT DOORS.                                  |
| • SGN-1: | EXISTING WALL SIGN TO REMAIN  |           |   |
| • EC-1:  | PARAPET METAL, WALL COPING, COLOR DARK BRONZE (MATTE)   |           |   |

**a. Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

By: S. M. M. Date: 3-13-2021  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: D. Goodman Date: 8/20/2021  
Administrator



**Chick-fil-A**

**5200 Buffington Road  
Atlanta, Georgia 30349**

**Hill Foley Rossi  
& ASSOCIATES**

**ARCHITECTURE  
ENGINEERING**

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**CHICK-FIL-A**  
**Knightdale**  
**6711 Knightdale Blvd.**  
**Knightdale, NC 27545**

**FSR#01760**

BUILDING TYPE / SIZE: S06C-R  
RELEASE: v12.2020

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION
1	05.06.2021	Permit

CONSULTANT PROJECT # 19.414.00  
PRINTED FOR Permit  
DATE 05.06.2021  
DRAWN BY BJP

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**Exterior Elevations**

SHEET NUMBER

**A2.2**



## 10 GENERAL NOTES

- 10.1 G.C. TO VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF DEMOLITION. NOTIFY CHICK-FIL-A CONSTRUCTION MANAGER OF ANY DISCREPANCIES.
- 10.2 REFER TO CIVIL DRAWINGS FOR FINISH GRADES.
- 10.3 PROVIDE BLOCKING FOR ALL NEW EXTERIOR WALL MOUNTED LIGHT FIXTURES.
- 10.4 PAINT ALL WOOD AND METALS EXPOSED TO THE EXTERIOR.
- 10.5 EVALUATE AND REPAIR ALL EXISTING ROOFING AS REQUIRED.
- 10.6 REPAIR ALL ROOFS AND FLASHINGS THAT REMAIN AS REQUIRED.
- 10.7 ALL NEW BRICK SHALL MATCH EXISTING SIZE, PATTERN AND COLOR INCLUDING ROWLOCK COURSE AND SOLDIER COURSE.
- 10.8 MORTAR COLOR SHALL MATCH EXISTING MORTAR COLOR.
- 10.9 FOR SITE METALS, USE PAINT COLOR PT-2 INSIDE CURB LINE AND PAINT COLOR PT-9 OUTSIDE CURB LINE TYP.
- 10.10 COORDINATE SIGNAGE REPLACEMENT / UPGRADES WITH CLAYTON SIGNS. ANY NEW SIGNAGE SHALL REQUIRE A SEPARATE SIGN PERMIT.

## 20 TERMITE TREATMENT

- 20.1 NATIONAL ACCOUNT TO PRE-TREAT SLABS- TERMINIX, ACCOUNTANT REPRESENTATIVES ROSA NEWELL 1-800-238-6189 EXT #510 - E-MAIL: RNEWELL@TERMINIX.COM (PRIMARY), HOWARD STRELSIN 1-800-238-6189 EXT #1725 - E-MAIL: HSTRELSIN@TERMINIX.COM (SECONDARY).
- 20.2 PROCEDURE
  1. GENERAL CONTRACTOR SHALL CONTACT ACCOUNT REPRESENTATIVE 58 TO 72 HOURS BEFORE THE SLAB IS TO BE PLACED.
  2. PROVIDE THE PROJECT ADDRESS, CFA STORE NUMBER, SQUARE FOOTAGE OF AREA TO BE TREATED AND BILLING ADDRESS OF THE GENERAL CONTRACTOR.
  3. AFTER FINAL GRADING WORK HAS BEEN COMPLETED CONTACT THE ACCOUNT REPRESENTATIVE AND TERMINIX WILL TREAT ALL UNDER SLAB AREA.
  4. TERMINIX WILL FORWARD A COPY OF THE TREATMENT CERTIFICATE TO CFA HOME OFFICE AND THE GENERAL CONTRACTOR.

## 40 KEY NOTES:

1. NEW ALUMINUM STOREFRONT DELIVERY DOOR, MATCH EXISTING STOREFRONT SYSTEM PROVIDE CARD READER ON EXTERIOR FOR EMPLOYEE ACCESS.
2. NEW DELIVERY DOOR BY TORMAX AUTOMATIC, REFER TO DOOR SCHEDULE AND MANUFACTURER DETAILS EXISTING STUCCO AND STONE VENEER TO REMAIN.
3. NEW LOCATION OF GAS METER AND LINE, PAINT PT-9.
4. REMOVE EXISTING CANOPIES & SOFFITS IN THIS REGION. REMOVE EXISTING FINISHES, REPAIR ANY DAMAGE AND PREPARE WALL FOR NEW FINISHES AND AWNINGS. ADD SHEATHING WHERE REQUIRED. SEE DETAILS ON A-3.1.
5. EXISTING FABRIC AWNING TO REMAIN.
6. NEW FABRIC AWNING PROVIDED & INSTALLED BY UNISTRUTURES, COORD. WITH SHOP DRAWINGS, REFER TO SHEET A3.1 FOR BLOCKING HEIGHTS.
7. NEW CANOPY PROVIDED AND INSTALLED BY UNISTRUTURES, REFERENCE SHEET A3.2, COORDINATE WITH SHOP DRAWINGS.
8. NEW METAL COPING PRE-FINISHED TO MATCH PT-9 DARK BRONZE. PROVIDE FLASHING PER MANUFACTURER'S SPEC. WHERE ADJACENT TO EXIST. COPING.
9. MASONRY EXPANSION JOINT, MIN. 1" WIDTH WITH FOAM BACKER ROD AND SEALANT, FULL HEIGHT OF WALL. MATCH EXPANSION JOINT COLOR TO THE MORTAR COLOR, REFER TO 4A.3.2.
10. MASONRY CONTROL JOINT, PROVIDE JOINT AT 48" FROM CORNER WHEN WALL LENGTH IS GREATER THAN 12'-0"; SEE 5/A3.1.
11. NEW STUCCO OVER METAL LATHE TO MATCH EXISTING, REFER TO EXTERIOR FINISH SCHEDULE.
12. FIELD STONE VENEER STN-2, SEE STONE SPECIFICATIONS FOR MANUFACTURER AND COLOR, G.C. TO VERIFY "MATCH" PRIOR TO ORDERING.
13. STONE MAINSOT SILL, STN-2, HEIGHT AND OFFSETS TO MATCH EXISTING.
14. NEW STUCCO BAND TO MATCH EXISTING.
15. CONTINUOUS COATED STUCCO FOAM CORNICE, HEIGHTS AND OFFSETS TO MATCH EXISTING.

## 50 EXTERIOR FINISH SCHEDULE:

• STN-1:	EXISTING STONE VENEER TO REMAIN	• L-MDF:	HOLLOW METAL DOOR & FRAME BY ZIGMAN PRODUCTS COMPANY; DARK BRONZE
• STN-2:	FIELD STONE #2 EL DORADO STONE VENEER G.C. TO VERIFY & "MATCH" EXISTING COLOR STACKED STONE "CASTAWAY" G.C. TO VERIFY "MATCH" PRIOR TO ORDERING	• AW-2:	NEW FABRIC AWNING, SUNBRELLA FABRIC (4684-000, SLATE)
• SC-1:	PAINT EXISTING STUCCO FINISH PT-23B	• A-1:	ALUMINUM AWNING - COVERED, COLOR BLACK, SIZE V.I.F.
• SC-2:	PAINT STUCCO FINISH TO MATCH SC-1 G.C. TO VERIFY "MATCH" PRIOR TO ORDERING; SUBMIT TO OWNERS REP. FOR APPROVAL	• PT-2:	SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING, SW6258 "TRICORN BLACK", USED WITH SW PRO INDUSTRIAL PRO-CRYL UNIVERSAL PRIMER
• LHT-1:	NEW EXTERIOR WALL SCONCE, FIXTURE "OL"	• PT-23B:	SHERWIN WILLIAMS, PRO INDUSTRIAL MULT-SURFACE ACRYLIC COATING, SW6103 "LATTE", USED WITH SW LUXON CONDITIONER UNIVERSAL PRIMER
• LHT-2:	NEW EXTERIOR WALL SCONCE, FIXTURE "OA"	• PT-9:	EXTERIOR PAINT MISCELLANEOUS METALS, SHERWIN WILLIAMS- SHER-CRYL HIGH PERFORMANCE ACRYLIC #B66-350 COLOR: DARK BRONZE, SEMI-GLOSS FINISH
• LHT-3:	EXISTING WALL PACK TO BE RELOCATED, FIXTURE "OK"	• PT-7:	EXTERIOR PAINT REFUSE ENCLOSURE, SHERWIN WILLIAMS- #SW2807 "ROCKWOOD" (MEDIUM BROWN) SEMI-GLOSS FINISH ON DOOR FRAMES, SATIN FINISH ON WALLS
• LHT-4:	NEW EXTERIOR WALL WASHER, FIXTURE "OJ"	• ST-1:	EXISTING STOREFRONT TO REMAIN. REPLACE PUSH/PULL HARDWARE WITH CLEAR, ANODIZED HARDWARE ON STOREFRONT DOORS.
• SGN-1:	EXISTING WALL SIGN TO REMAIN		
• EC-1:	PARAPET METAL, WALL COPING, COLOR DARK BRONZE (MATTE)		

## REPAINT SPECIFICATION: PREFINISHED METALS- AIRBRUSH

1. WASH SURFACE THOROUGHLY USING PROCLEAN PREP WASH; CONCENTRATED CLEANER OR OTHER EMULSIFYING DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
2. BOTH THE SPECIFIED PRIMER AND TOPCOAT ADHERE VERY TIGHTLY TO ANY SUBSTRATE WHEN DRY. MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY TO PREVENT OVER SPRAY.
3. APPLY DTM BONDING PRIMER B66A50 USING AN AIRLESS SPRAYER WITH 2400 PSI FLUID PRESSURE AND A .017" TO .019" TIP - SEE ATTACHED DATA PAGE FOR FURTHER INFORMATION. APPLY TO A THICKNESS OF 7 MILS WET, 3 MILS DRY. ALLOW 4 TO 8 HOURS DRYING TIME, DEPENDING ON OUTSIDE AMBIENT TEMPERATURE, BEFORE RE-COATING - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.
4. APPLY TWO COATS OF SHER-CRYL LPA HIGH PERFORMANCE ACRYLIC IN COLOR SPECIFIED USING AN AIRLESS SPRAYER WITH 1500 PSI FLUID PRESSURE AND A .017" TO .019" TIP. APPLY TO A THICKNESS OF 7 MILS WET, 3 MILS DRY PER COAT. ALLOW 4 TO 8 HOURS DRYING TIME, DEPENDING ON OUTSIDE AMBIENT TEMPERATURE, BEFORE RECOATING - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.
5. APPLY ONE COAT OF SHER-CLEAR ONE COMPONENT ACRYLIC CLEAR COAT GLOSS B66C375 USING AN AIRLESS SPRAYER WITH 1500 PSI FLUID PRESSURE AND A .013" TO .015" TIP. APPLY TO A THICKNESS OF 4 MILS WET, 15 MILS DRY - COORDINATE DETAILS ON SPRAY SET-UP, DRYING TIME, ETC., WITH PAINT MANUFACTURER.

NOTE: THIS SYSTEM SHOULD BE APPLIED BY AN APPLICATOR EXPERIENCED IN USING HIGH PERFORMANCE SOPHISTICATED COATINGS. YOUR SHERWIN-WILLIAMS REPRESENTATIVE CAN ASSIST WITH CONTACTING QUALIFIED CONTRACTORS.

## REPAINT SPECIFICATION: PREFINISHED METALS- BRUSH AND ROLLER

1. WASH SURFACE THOROUGHLY USING TYP SUBSTITUTE OR OTHER DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
2. ANY BARE AREAS ON FERROUS METAL BOXES MUST BE SPOT PRIMED WITH KEM KROMIK UNIVERSAL METAL PRIMER B50N26.
3. THE SPECIFIED PRIMER ADHERES VERY TIGHTLY TO ANY SUBSTRATE WHEN DRY. MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY.
4. APPLY DTM BONDING PRIMER B66A50 BY BRUSH, ROLLER OR SPRAY TO A THICKNESS OF 5 MILS WET, 2 MILS DRY. ALLOW TO DRY FOR 4 HOURS BEFORE RECOATING.
5. APPLY TWO COATS OF SHER-CRYL HIGH PERFORMANCE ACRYLIC GLOSS ENAMEL B66 SERIES IN SPECIFIED COLOR BY BRUSH, ROLLER OR SPRAY TO A THICKNESS OF 6 MILS WET, 25 MILS DRY.

## REPAINT SPECIFICATION: STUCCO

1. WASH SURFACE THOROUGHLY USING TYP SUBSTITUTE OR OTHER DETERGENT CLEANER. RINSE THOROUGHLY AND ALLOW TO DRY. DO NOT USE A SOLVENT BASED CLEANER SUCH AS MINERAL SPIRITS. SANDING IS NOT NECESSARY EXCEPT IN AREAS WHERE THE EXISTING FILM IS CHECKED OR PEELING.
2. MASK ALL AREAS NOT TO BE PAINTING THOROUGHLY.
3. APPLY TWO COATS OF EXTERIOR FLAT LATEX PAINT IN SPECIFIED COLOR BY BRUSH, ROLLER, OR SPRAY:  
1ST COAT: S-W A-100 EXTERIOR LATEX FLAT, A6 SERIES, 4 MILS WET, 1.4 MILS DRY  
2ND COAT: S-W A-100 EXTERIOR LATEX FLAT, A6 SERIES, 4 MILS WET, 1.4 MILS DRY

## 30 BRICK SPECIFICATIONS

### NOTES:

1. COVER EXISTING BRICK TO REMAIN WHERE POSSIBLE TO MINIMIZE NECESSITY OF CLEANING.
2. BRICK SPECIFICATIONS LISTED BELOW ARE TAKEN FROM ORIGINAL DOCUMENTATION, G.C. TO FIELD VERIFY ALL BRICK COLORS PRIOR TO ORDERING.
3. REFER TO DETAIL 7/A3.2 FOR DRAINAGE AT BASE OF STUCCO SYSTEM FOR NEW AND EXISTING WALLS, REFER ALSO TO A3.1 FOR REPLACEMENT OF STUCCO AT SOLDIER COURSE TRANSITION ON EXISTING WALLS.

### BRICK/EIFS SPECIFICATIONS:

- BRICK #1: REFER TO EXTERIOR FINISH SCHEDULE
- EIFS #1: DRIVIT SYSTEMS, INC.; QUARTZPUTZ DFR. FINISH; REFER TO EXTERIOR FINISH SCHEDULE FOR COLOR AT LOCATIONS INDICATED

### ON NEW CONSTRUCTION MINIMIZE CLEANING BY:

- KEEPING BRICK COVERED WITH PLASTIC.
- KEEPING MORTAR TROWELING AND DROPPINGS OFF BRICK.
- SPREADING STRAW AROUND THE FOUNDATION TO KEEP THE DIRT OFF THE WALL.
- CLEANING BRICK AS YOU GO. ESPECIALLY THE HEAVY DEPOSITS OF DIRT AND MORTAR.

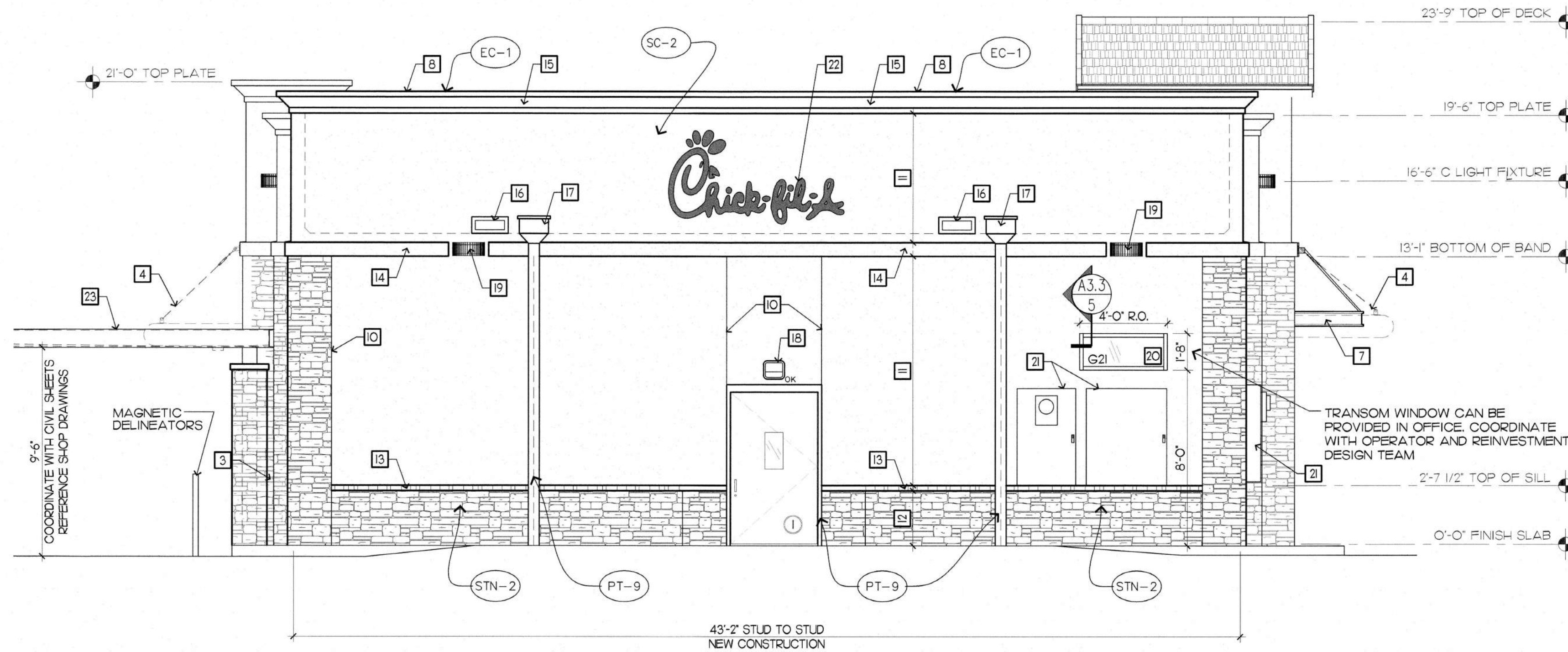
### PROCEDURES:

1. REMOVE LARGE PARTICLES FROM THE WALL WITH A HAND TOOL.
2. THOROUGHLY PRE-WET THE AREA WITH PLenty OF WATER.
3. MAKE SURE THE AREA BELOW THE SECTION TO BE CLEANED IS ALSO THOROUGHLY WET.
4. THE WALL MUST REMAIN WET AT ALL TIMES THROUGHOUT THE CLEANING PROCESS.
5. IF A TEST PANEL CANNOT BE USED A SMALL AREA SHOULD BE TESTED PRIOR TO CLEANING.
6. APPLY THE CLEANER ACCORDING TO THE MANUFACTURERS STANDARD AND CURRENT INSTRUCTIONS.
7. RINSE THOROUGHLY WITH WATER.

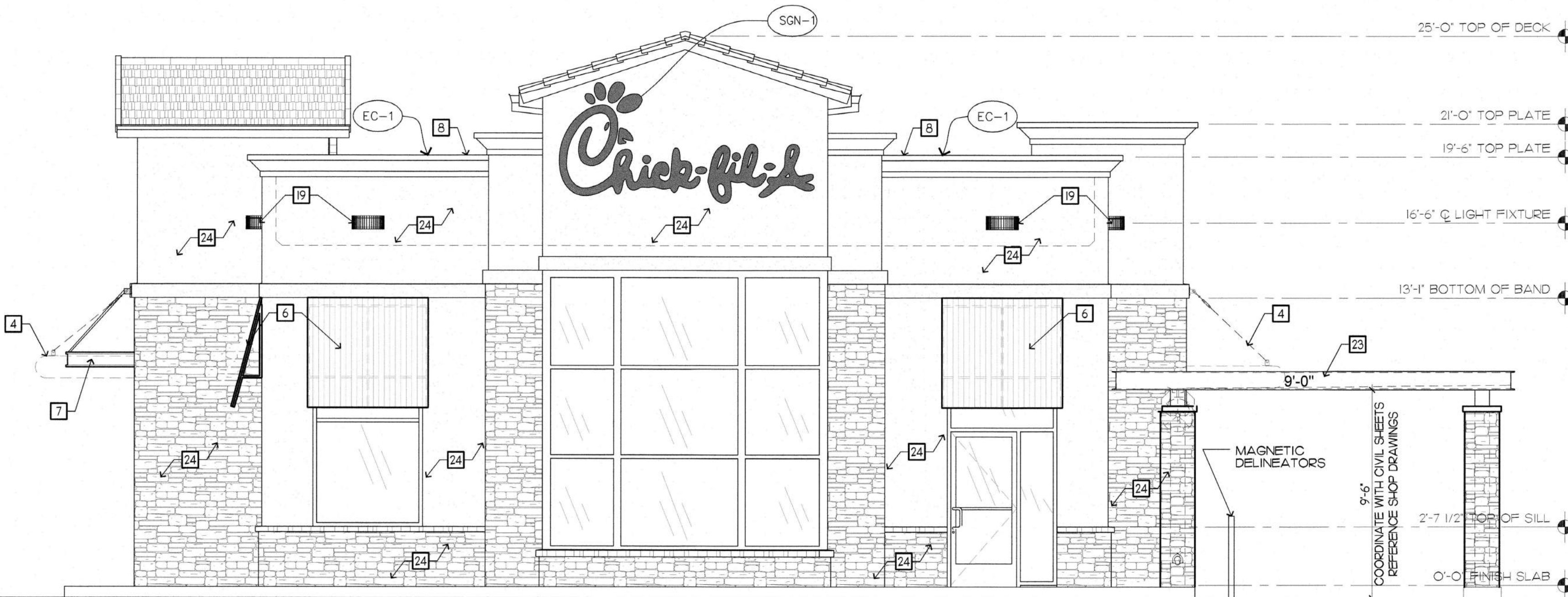
### RECOMMENDED CLEANERS:

1. CLOROX, TILEX OR VANISH TO REMOVE MILDEW.
2. 800 STAIN REMOVER FOR VANADIUM STAIN\*
3. VANA TROL FOR GENERAL CLEANING.
4. ENVIROKLEAN MPC FOR MUD AND OIL STAINS.\*

- FOLLOW MANUFACTURER'S CURRENT AND STANDARD RECOMMENDED PROCEDURES ON THE LABEL.



**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.

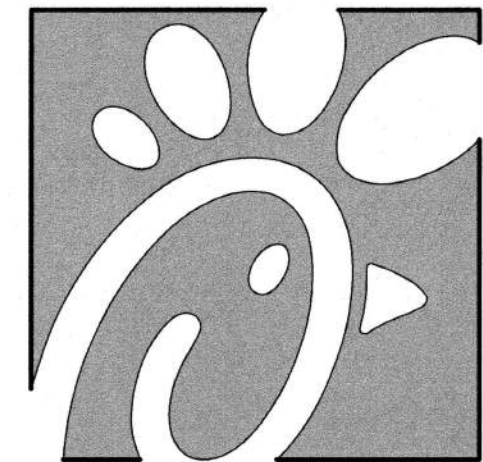
By: S. S. S. S. Date: 8/13/2021  
Town Engineer

These plans are approved by the Town of Knightdale and serve as construction plans for this project.

By: A. J. J. J. Date: 8/20/2021  
Administrator

- NEW EXTERIOR STONE, STUCCO AND PARAPET TO MATCH EXISTING EXTERIOR COLORS. EXTERIOR SITE METALS TO BE PAINTED "TRICORN BLACK" AS SPECIFIED ON ELEVATIONS

- ALUMINUM LOT LIGHT POSTS TO BE PAINTED DARK BRONZE COLOR (PT-9) OR AS REQUIRED BY LOCAL JURISDICTION OR LANDLORD REQUIREMENTS.



**Chick-fil-A**  
5200 Buffington Road  
Atlanta, Georgia 30349



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6711 Knightdale Blvd.  
Knightdale, NC 27545

**FSR#01760**

BUILDING TYPE / SIZE: S06C-R  
RELEASE: V12.2020

**REVISION SCHEDULE**  
NO. DATE DESCRIPTION

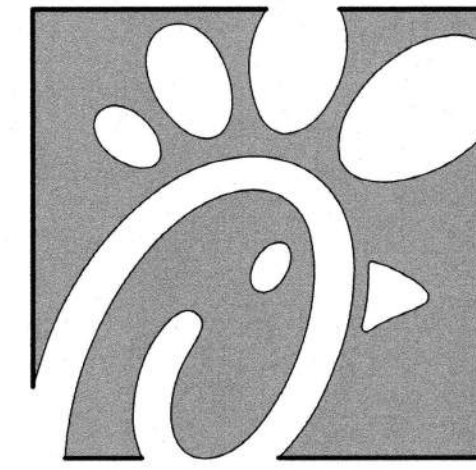
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SHEET  
Exterior Elevations

SHEET NUMBER

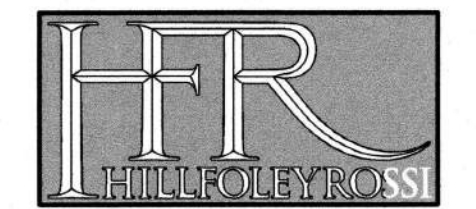
**A2.1**





Chick-fil-A

Chick-fil-A  
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Atlanta, Georgia 30349



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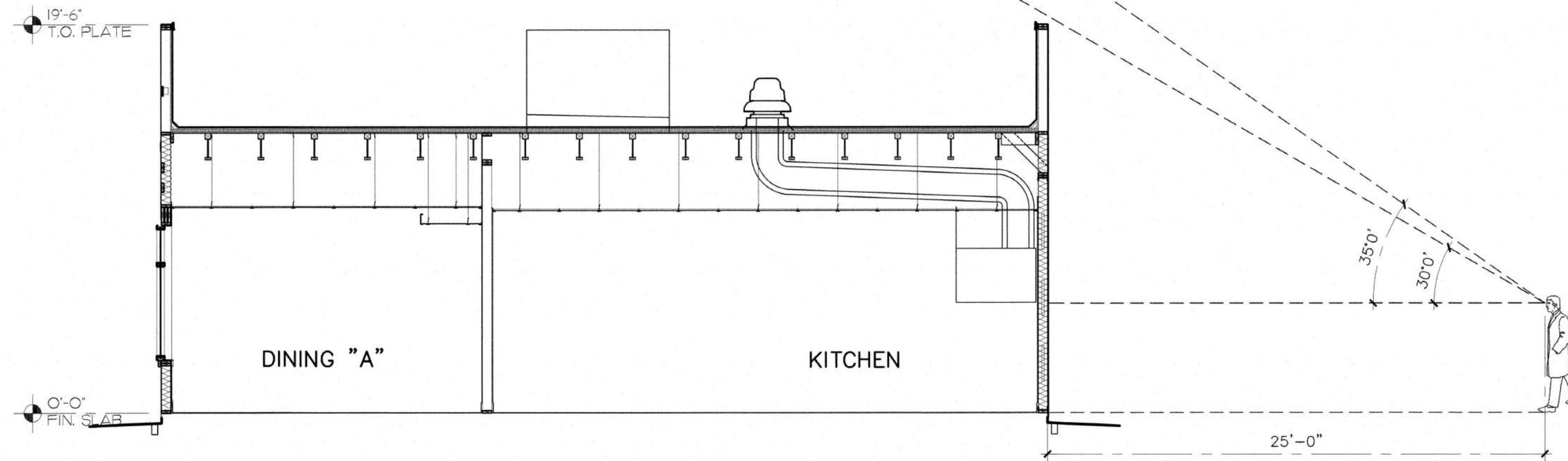
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SHEET

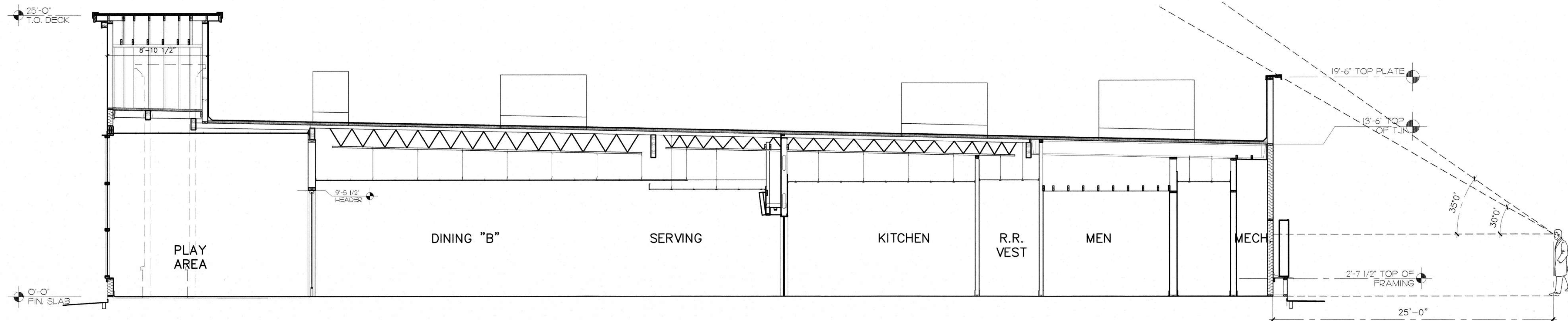
Cross Sections

SHEET NUMBER

SK-1



2 TRANSVERSE SECTION  
3/16" = 1'-0"



1 LONGITUDINAL SECTION  
3/16" = 1'-0"

a. **Town Certification.** This design has been reviewed by the Engineer for the Town of Knightdale, and to the best of my knowledge and belief, it conforms to the requirements established in the Standard Specifications of the Town of Knightdale.  
By: S. Miller Date: 8/13/2021  
Town Engineer  
These plans are approved by the Town of Knightdale and serve as construction plans for this project.  
By: D. Waldman Date: 8/10/2021  
Administrator



## A-0.1